



The City of Covington
REQUEST FOR PROPOSALS

Voice and Data Infrastructure, Access Control and Surveillance and AV
City of Covington, Kentucky

Purpose:

The City of Covington, Kentucky ("City") is requesting proposals from qualified firms interested in providing **Voice and Data Infrastructure, Access Control, Surveillance Software and Hardware, and AV Materials and Installation** for the new Covington City Hall, at 20 W. Pike Street, Covington, Kentucky.

Further information and/or specifications may be obtained at the Office of the City Manager, 638 Madison Avenue, 4th Floor, Covington, Kentucky, 859-292-2160, or by email at khushebeck@covingtonky.gov.

Mandatory Pre-Submittal Meeting: A mandatory pre-submittal meeting will be held on September 4, 2013 at 3:00 p.m. at 20 W. Pike Street, Covington, Kentucky 41011.

All applications shall be submitted no later than Monday, September 9th, 2013 by 10:00 a.m. to:

Office of the City Manager
City of Covington
638 Madison Ave, 4th Floor
Covington, KY 41011
RFP – Voice and Data Infrastructure, Access Control and Surveillance

Responses received after the deadline will NOT be considered. The City reserves the right to reject any and all responses to this request.

DATES OF PUBLICATION:
August 31, 2013



Proposal Cover Sheet

The City of Covington Voice and Data Infrastructure, Access Control and Surveillance

Legal Name of Corporation or Company: _____

Federal ID number of legal entity: _____

Primary Contact Person: _____ Title: _____

Address: _____

City, State, and Zip: _____

Telephone number: _____ Fax number: _____

Cell phone number: _____

Email address: _____

This bid sheet must be signed, dated, and returned. All Bidders must accept all of the City of Covington's terms and conditions that are attached to this RFP document.

To be awarded a City of Covington contract, Proposers must have a City of Covington Occupational License.



The City of Covington

Statement of Work

Voice and Data Infrastructure, Access Control and Surveillance and AV

August 31st, 2013

DESCRIPTION OF SERVICES:

The City of Covington is moving its facility from 638 Madison Avenue to 20 W. Pike Street. As such, the City is accepting proposals for the following: **Voice and Data Infrastructure, Access Control and Surveillance and AV**. The selected contractor shall provide all personnel, equipment, tools, materials, supervision, transportation and all other parts and supplies necessary to accomplish the tasks and provide materials set for the below, in reference to the Attachment A – Floor Plan.

I. SCOPE OF WORK AND MATERIALS

Voice/Data Infrastructure

1. General Office 1st Floor: Installation of approximately 41 locations of 2 voice/data cables, 4 locations of 1 data for WAPS and 3 locations of 1 voice for wall phones.
2. General Office 2nd Floor: Installation of approximately 60 locations of 2 voice/data cables, and 1 location of 1 voice for wall phone.
3. Mezzanine Conference Rooms: Installation of 4 locations of 2 voice/data cables.
4. All voice/data cabling to be Cat6.
5. All voice/data cabling to be plenum.
6. All voice/data cables terminated on patch panels.
7. Supply customer with 1- 3' patch cable per voice/data for MDF/IDF.
8. Supply customer with 1- 10' patch cable per voice/data for station ends.

Communication Counts and Specification: MDF/IDF Buildouts

1. MDF: Installation of 1-2 post data rack and 1- 4 post server rack.
2. Installation of 3 vertical and 6 horizontal wire managers.
3. Installation of 12" ladder racking above racks.
4. Installation of power strip in each rack.

Access Control/Video Surveillance Subtotal

1. Installation of Genetec Security Center Video Management/Access Control Software. Licensed for 6 IP cameras, 21 doors and 5 client connections.
2. Work includes supply, installation, configuration, aim and focusing of new cameras with all necessary mounting hardware, waterproofing if appropriate, heaters, blowers and sun shields if necessary. Also include installation and configuration of software,

- perpetual licenses and annual maintenance agreements required to prepare and operate the systems
3. Genetec SV-Pro Security Server w/4 TB Hard Drive for video archives
 4. 17 -IP based single door controllers
 5. Installation of all IP access control hardware listed above
 6. Norwood hardware to supply all door hardware and cabling from door to ceiling.
 7. Installation 2 indoor and 2 outdoor Axis IP cameras
 8. Any associated equipment rental

Audio Visual Materials and Installation

1. Media Box:: Whirlwind PB06 1x6 XLR Line to Mic Level Press Box
2. Wall Plate: Audio WPL-1114 (2 Male XLR Ends)
3. Wall Plate: Video WPL-1102 (2 BNC Ends)
4. Mic Cable: Liberty 16-2C-PSH-WHT (1000' spool)
5. Mic Ends Male: Neutrik XLR Male Connector NC3MXX
6. Mic Ends Female: Neutrik XLR Male Connector NC3FXX
7. Video Cable: Belden BL-643948-1000 Video (1000' spool)
8. Video Ends: AIR802 Video Crimp Connector (BNC)
9. Video Crimper: Evertech Crimper
10. Cable Stripper: Datashark Cable Stripper
11. Speakers: Atlas Sound SM42T-BLACK 2-Way 4" Speakers
12. Speaker Cable: Belden 6000UE 12 AWG 2C Cable Plenum-rated In-Wall Speaker Wire 500 ft.
13. Wall Rack: Tripp Lite SRW18US 18RU Wall Mount Rack Enclosure

II. KEY DATES AND PERFORMANCE PERIOD:

The installation must be complete by October 1, 2013.

III. CONTRACTOR REQUIREMENTS:

1. The contractor shall utilize qualified, capable employees in the performance of this contract. Technicians servicing the equipment shall possess applicable certifications and qualifications to conduct the work.
2. The contractor shall take all necessary precautions to ensure there's no damage to Government Property. All damages to such property and furnishings shall be repaired or replaced at no additional cost to the government.
3. The contractor shall coordinate the scheduling of work with the City Representative prior to commencing work.
4. The contractor shall be responsible for all means and methods as they relate to safety and shall comply with all local, state and federal requirements. All contracted personnel shall be instructed to be mindful of maintaining a safe environment for the facility.
5. Before installation services are started, the contractor shall inspect work site and ascertain all information necessary to deliver effective performance of services. The contractor shall notify the City Representative of any conditions that prevent the suitable completion of the installation services.
6. The Contractor shall provide proof of applicable workers' compensation,

unemployment and liability insurance and maintain insurance currency throughout the contract period.

IV. GOVERNMENT INSPECTIONS: A City Representative will inspect equipment installation and confirm that the equipment is in working order. Deficiencies will be brought to the attention of the contractor the contractor shall correct the condition(s) at no additional cost to the government.

V. MANDATORY PRE-SUBMISSION MEETING

Mandatory Pre-Bid Walk Through on September 4th, 3:00pm. at 20 West Pike Street Covington Kentucky.

VI. GENERAL REQUIREMENTS:

1. All proposal expenses are to be borne by the proposer.
2. Proposals may be withdrawn upon receipt of a written request prior to the date and time of submission as noted in this RFP.
3. Questions or clarifications must be submitted in writing to the Project Manager as noted in the Proposal Submission section of this document. The City will only recognize written communication, and is not responsible for oral interpretations by a City employee, representative, or others.
4. Addenda may be issued up to 48 hours prior to the submission date. Interested proposers must provide detailed contact information including company address, fax number, email, and phone numbers so that addenda may be issued in a timely manner.
5. The City of Covington reserves the right to reject any and/or all submissions and to waive any formalities as part of the selection process. As consideration for making a proposal, the Respondent waives any claims for any alleged damages arising from a rejection of the proposal by the City.
6. Proposals shall be delivered to address listed below in a sealed envelope and must be clearly labeled **“City of Covington – Voice and Data Infrastructure, Access Control and Surveillance.”**
7. Proposals must contain references which reflect successful completion of contracts for the type of services detailed in the RFP, demonstrating such expertise, knowledge, and experience to establish that the proposer is capable of meeting the requirements of the proposal.

VII. PROPOSAL FORMAT:

1. Required content includes:
 - a. Letter of interest including firm’s availability to undertake this project in the short time frame, and acknowledgement of any and all addenda issued for this RFP.
 - b. A written summary of the proposer’s approach to scope of work.
 - c. Detailed description of firm (s).
 - d. Provide a minimum of three (3) client references for projects with services similar to the scope of services for this RFP.
2. One (1) original hard copy and one digital copy shall be submitted to lsims@covingtonky.gov.

VIII. PROPOSAL SUBMISSION:

All responses shall be submitted no later than **10:00 a.m., September 9th, 2013:**

Office of the City Manager
ATTN: Larisa Sims, Assistant City Manager
638 Madison Avenue
Covington, Kentucky 41011

IX. PUBLIC INFORMATION NOTICE:

All proposals submitted to the City will be kept in confidence with the Selection Committee for the sole purposes of evaluating and developing the best possible strategic option for the City. RFP submissions will become property of the City. The City will have the right to make copies for its internal review process and to provide copies to its staff, legal, technical and financial advisors and representatives.

All information submitted for review may be subject to the Kentucky Open Records Act and may be made available upon request by the public. Respondents should identify any confidential, proprietary information or trade secrets and provide justification why such material should not be disclosed.

ATTACHMENT A:
FLOOR PLAN



PROPOSED CITY OFFICES
20 WEST PIKE
COVINGTON, KENTUCKY

Hub + Weber
Architects, PLC

200 West Pike Street
Covington, KY 41011
Ph: 859-491-3844
Fx: 859-655-3243
hw@hubweber.com

Issued: 08.08.13
Revised:
08.16.2013 PERMIT ISSUE

COVER SHEET

G101

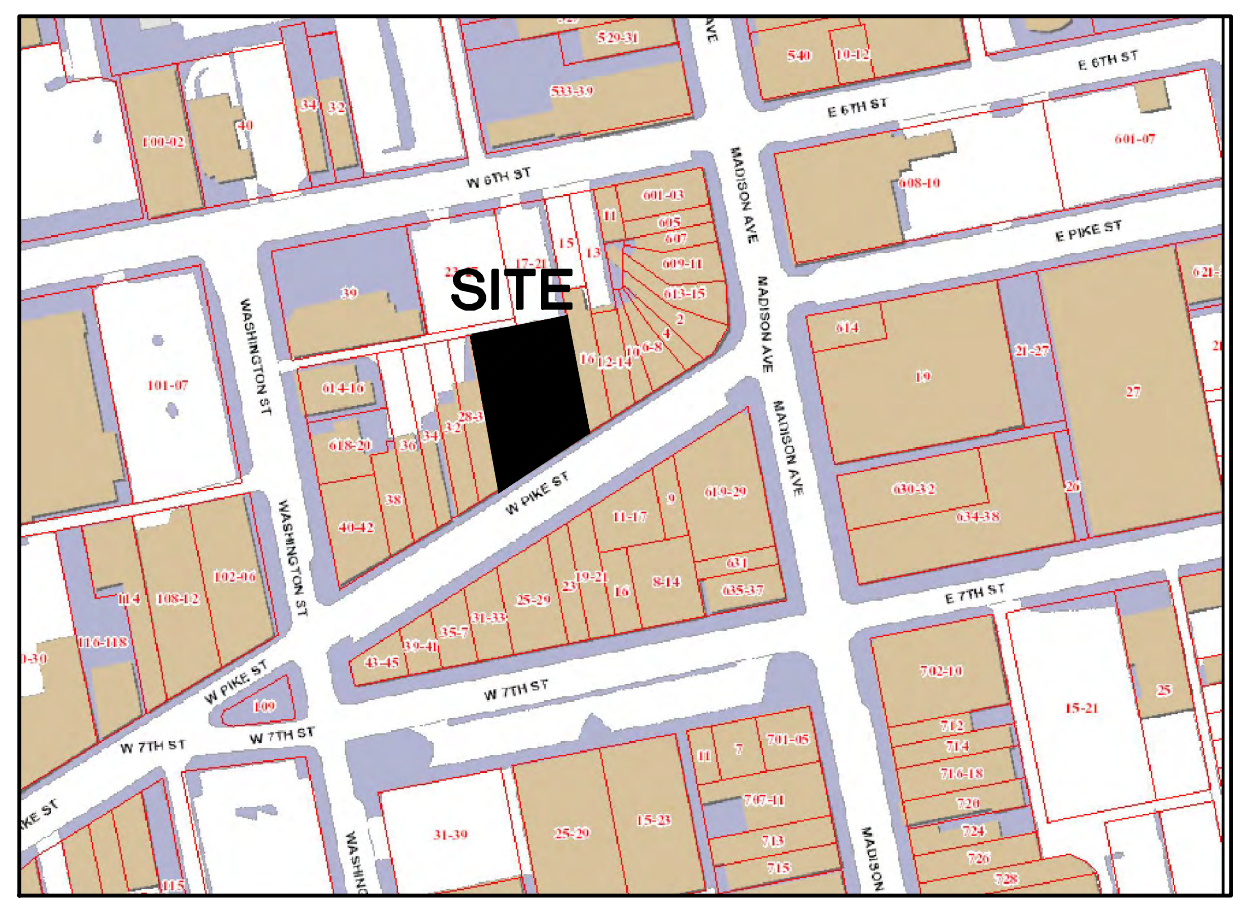
REMODEL

NEW CITY OF COVINGTON OFFICES

20 WEST PIKE STREET

COVINGTON, KENTUCKY

VICINITY MAP



CODE INFORMATION

PROJECT DESCRIPTION:
TENANT FINISH CONSTRUCTION

PROJECT SQUARE FOOTAGE:

BASEMENT	10,369 S.F.
FIRST FLOOR	10,369 S.F.
MEZZANINE	1,474 S.F.
SECOND FLOOR	9,570 S.F.

BUILDING CODE:
KENTUCKY BUILDING CODE

USE CLASSIFICATION:

	EXISTING	NEW
BASEMENT	S-1 STORAGE	S-1 STORAGE (NO WORK)
FIRST FLOOR	A-2 ASSEMBLY	A-3 ASSEMBLY / B BUSINESS
MEZZANINE	A-2 ASSEMBLY	A-3 ASSEMBLY / B BUSINESS
SECOND FLOOR	B BUSINESS R-2 APARTMENTS	B BUSINESS

EXISTING NON-SEPARATED OCCUPANCIES

CONSTRUCTION CLASSIFICATION:
CONSTRUCTION TYPE III-B

BASE ALLOWABLE AREA: 9,500 S.F.

PERIMETER AREA OPEN INCREASE: 1,425 S.F.

TOTAL PERIMETER - 434'-3"
OPEN AREA - 174'-9"
(NORTH AND SOUTH ELEVATIONS)
40% OPEN AREA

TOTAL ALLOWABLE AREA: 10,925 S.F.

ALLOWABLE HEIGHT: 2 STORIES
ACTUAL HEIGHT: 2 STORIES + BASEMENT AND MEZZANINE

SPRINKLER
BUILDING IS PARTIALLY SPRINKLERED (BASEMENT)
NO NEW SPRINKLER WORK IS PROPOSED

OCCUPANT LOAD: SEE SHEETS G103, G103M AND G104

BASEMENT:	10,369/500 GROSS - 21 OCCUPANTS
FIRST FLOOR:	
BUSINESS:	4,780/100 GROSS - 48 OCCUPANTS
ASSEMBLY:	1,139/ 7 NET - 163 OCCUPANTS - 197 ACTUAL SHOWN
MEZZANINE:	453/15 NET - 30 OCCUPANTS
SECOND FLOOR:	9,570/100 GROSS - 96 OCCUPANTS
TOTAL OCCUPANT LOAD:	392 OCCUPANTS

INTERIOR FINISH RATINGS
EXIT ENCLOSURES AND PASSAGEWAYS - CLASS A
CORRIDORS - CLASS A/B
ROOMS AND ENCLOSED SPACES - CLASS C

PROJECT TEAM

DEVELOPER:

SALYERS GROUP
20 WEST 11TH STREET
COVINGTON, KENTUCKY 41011
(859) 982-0016
FAX: (859) 982-0023

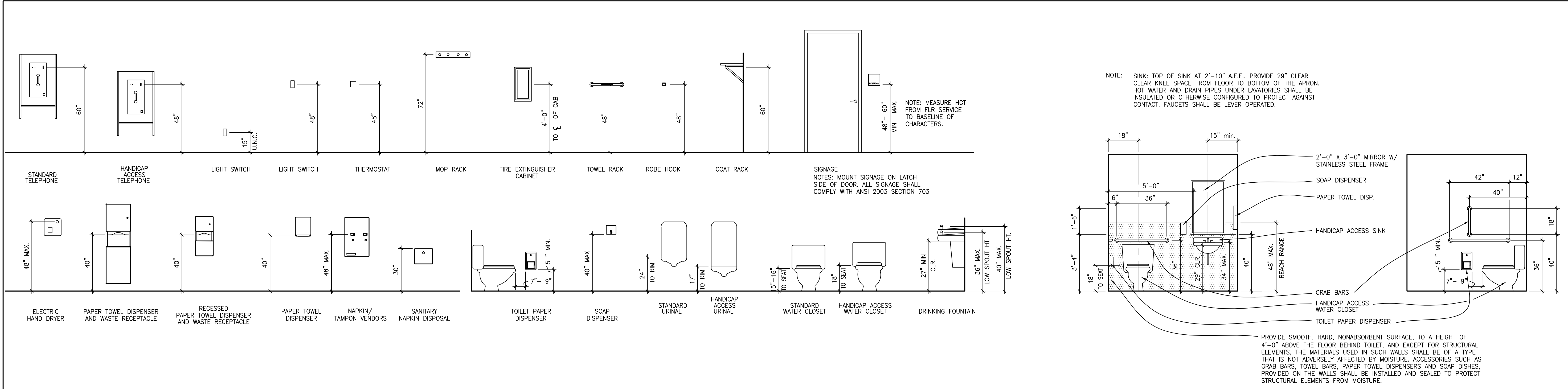
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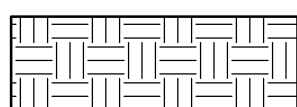
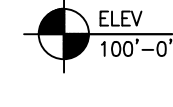
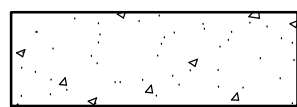

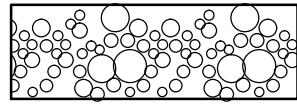
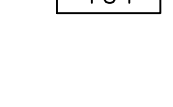




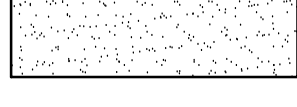
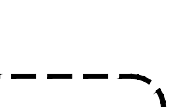


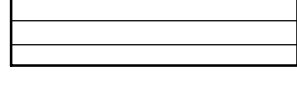


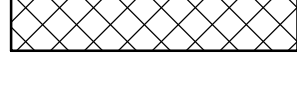
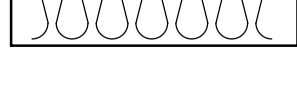
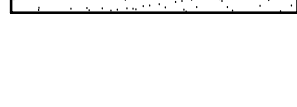
HUB + WEBER ARCHITECTS, PLC
200 WEST PIKE STREET
COVINGTON, KENTUCKY 41011
(859) 491-3844
FAX: (859) 655-3243

DRAWING INDEX

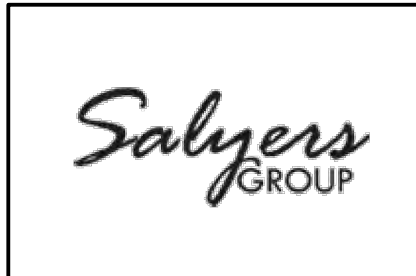
CURRENT DATE	SHEET NUMBER	SHEET DESCRIPTION
08.16.2013	G101	COVER SHEET
08.16.2013	G102	STANDARDS
08.16.2013	G103	FIRST FLOOR OCCUPANCY
08.16.2013	G103M	MEZZANINE OCCUPANCY
08.16.2013	G104	SECOND FLOOR OCCUPANCY
08.16.2013	D101	FIRST FLOOR DEMOLITION PLAN
08.16.2013	D102	SECOND FLOOR DEMOLITION PLAN
08.16.2013	A101	FIRST FLOOR PLAN
08.16.2013	A101M	MEZZANINE PLAN
08.16.2013	A102	SECOND FLOOR PLAN
08.16.2013	A401	FIRST FLOOR REFLECTED CEILING PLAN
08.16.2013	A402	SECOND FLOOR REFLECTED CEILING PLAN
08.16.2013	F101	FIRST FLOOR FURNITURE PLAN
08.16.2013	F101M	MEZZANINE FURNITURE PLAN
08.16.2013	F102	SECOND FLOOR FURNITURE PLAN
08.16.2013	A501	SCHEDULES / INTERIOR DETAILS
08.16.2013	A502	INTERIOR ELEVATIONS

STANDARD MOUNTING HEIGHTS



	MATERIALS	SYMBOLS	ABBREVIATIONS	
	 EARTH	 SPOT ELEVATION	A/C AIR CONDITIONING ACT ACOUSTIC CEILING TILE ADD ADDENDUM AFF ABOVE FINISH FLOOR ALT ALTERNATE AP ACCESS PANEL B/M BENCH MARK B.P. BID PACKAGE B/S BOTH SIDES B/W BOTH WAYS B/ BOTTOM OF CB CATCH BASIN CT CERAMIC TILE CJ CONTROL JOINT CL CENTERLINE C/C CENTER TO CENTER CLG CEILING CMU CONCRETE MASONRY UNIT CONC CONCRETE CONT CONTINUOUS CPT CARPET D DEEP DF DRINKING FOUNTAIN DN DOWN E EAST EA EACH EIFS EXTERIOR INSULATION FINISH SYSTEM E/F EACH FACE EJ EXPANSION JOINT EL ELEVATION ELEC ELECTRIC ELEV ELEVATOR EQ EQUAL E/W EACH WAY EWC ELECTRIC WATER COOLER EXP EXPOSED EXTG EXISTING FD FLOOR DRAIN FE FIRE EXTINGUISHER FEC FIRE EXTINGUISHER CABINET FF&E FURNITURE, FIXTURES, & EQUIPMENT FH FIRE HYDRANT G GAS GA GAGE OR GAUGE GFI GROUND FAULT INTERRUPTOR GL GLASS GMU GLASS MASONRY UNIT GYP BD GYPSUM BOARD H HIGH HB HOSE BIBB HDW HARDWARE HM HOLLOW METAL HCWD HOLLOW CORE WOOD DOOR H/P HIGH POINT HR HOUR HT HEIGHT HVAC HEATING, VENTILATION, AND AIR CONDITIONING HVC HOSE VALVE CABINET HVEC HOSE VALVE AND EXTINGUISHER CABINET ID INSIDE DIAMETER INV INVERT L LONG LBS POUNDS LL LIVE LOAD LLH LONG LEG HORIZONTAL LLV LONG LEG VERTICAL L/P LOW POINT	MAX MAXIMUM MH MANHOLE MIN MINIMUM MO MASONRY OPENING N NORTH NIC NOT IN CONTRACT NO. OR # NUMBER NOM NOMINAL NRC NOISE REDUCTION COEFFICIENT O/C ON CENTER OD OUTSIDE DIAMETER OFCI OWNER FURNISHED, CONTRACTOR INSTALLED OPP OPPOSITE HAND P PAINT % PERCENT PLAM PLASTIC LAMINATE +/- PLUS OR MINUS PSI POUNDS PER SQUARE INCH PSF POUNDS PER SQUARE FOOT QT QUARRY TILE R RADIUS OR RISER RD ROOF DRAIN REQD REQUIRED S SOUTH SAN SANITARY SEWER SCWD SOLID CORE WOOD DOOR SF SQUARE FEET SIM SIMILAR STC SOUND TRANSMISSION COEFFICIENT STS STORM SEWER SV SHEET VINYL T TREAD T/ TOP OF T/M TOP OF MASONRY T/C TOP OF CONCRETE T/FTG TOP OF FOOTING TS TUBE STEEL T/S TOP OF STEEL TYP TYPICAL TSV TOP SET VINYL WALL BASE UC UNDERCOUNTER UH UNIT HEATER UNO UNLESS OTHERWISE INDICATED VCT VINYL COMPOSITION TILE VWC VINYL WALL COVERING W WEST, WIDE W/ WITH WB WOOD BASE WD WOOD W/O WITHOUT W/P WORKING POINT WWF WELDED WIRE FABRIC YD YARD DRAIN
	 CONCRETE	 ROOM NAME ROOM NUMBER		
	 GRANULAR FILL	 DOOR NUMBER		
	 CONCRETE MASONRY UNITS	 SECTION NUMBER SHEET NUMBER		
	 FACE BRICK	 ELEVATION NUMBER SHEET NUMBER		
	 STONE	 DETAIL NUMBER SHEET NUMBER		
	 STEEL	 REVISION		
	 PLYWOOD	 PARTITION TYPE		
	 FINISH WOOD			
	 RIGID INSULATION			
	 BATT INSULATION			
	 GYPSUM BOARD			

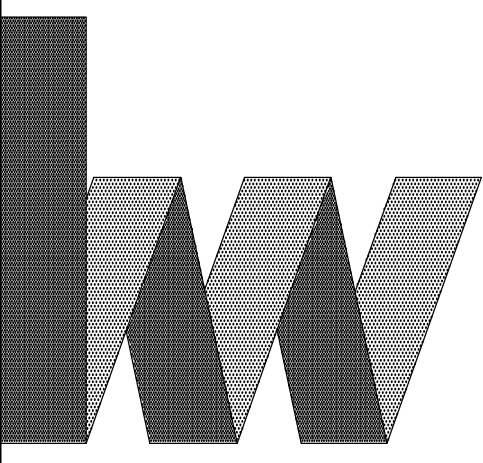
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PROPOSED CITY OFFICES

20 WEST PIKE

COVINGTON, KENTUCKY



Hub + Weber
Architects, PLC

200 West Pike Street
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STANDARDS

G102

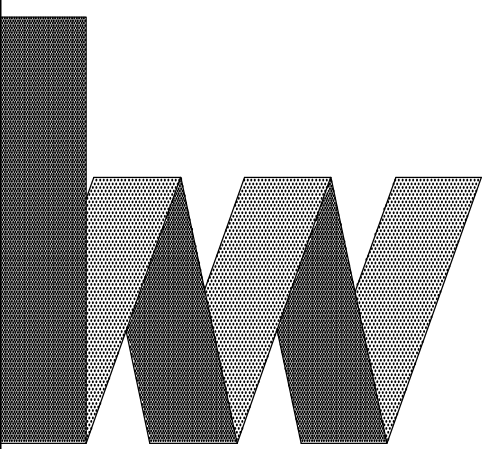
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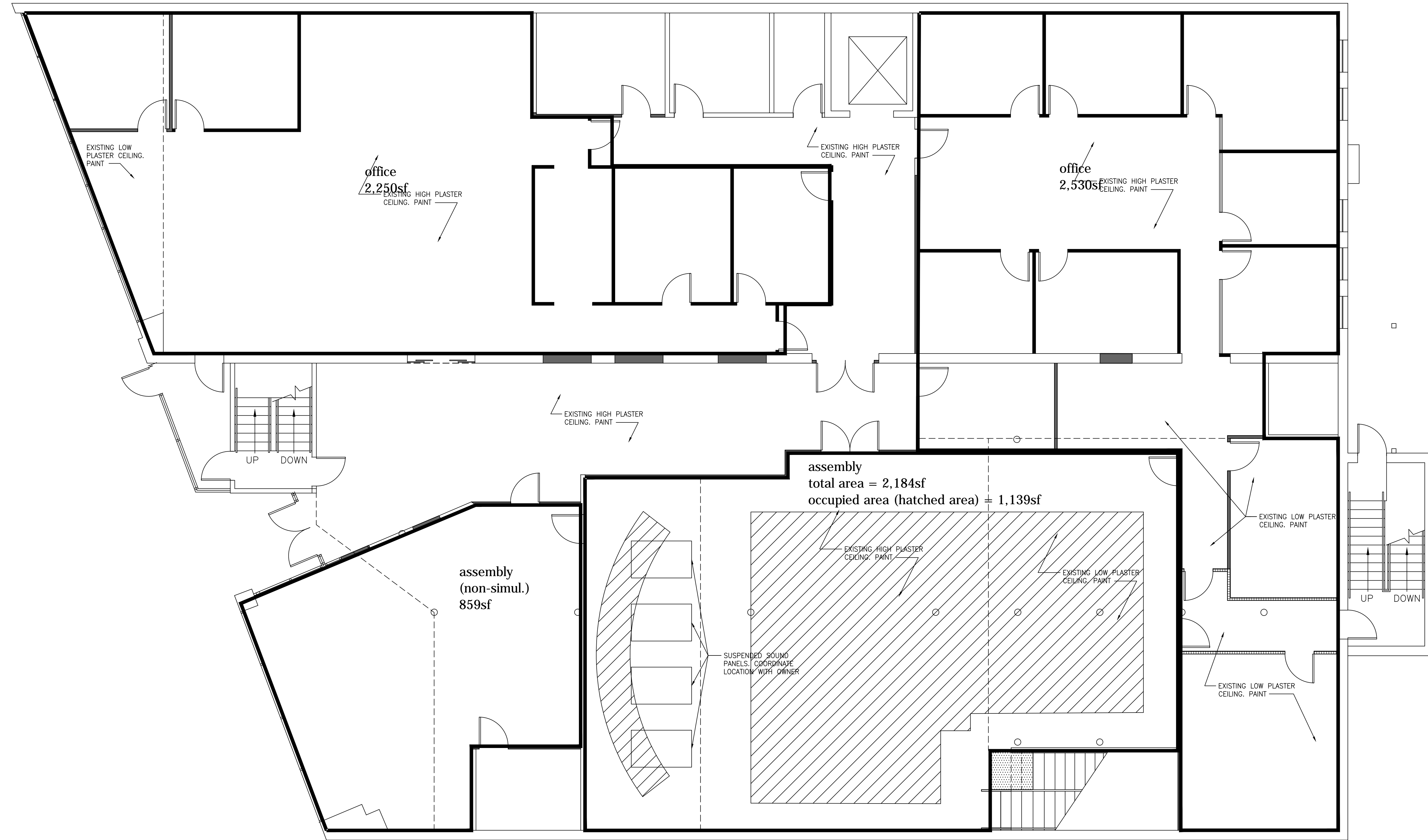
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FIRST FLOOR
OCCUPANCY

G103



FIRST FLOOR PLAN
3/16" = 1'-0"
PLAN NORTH

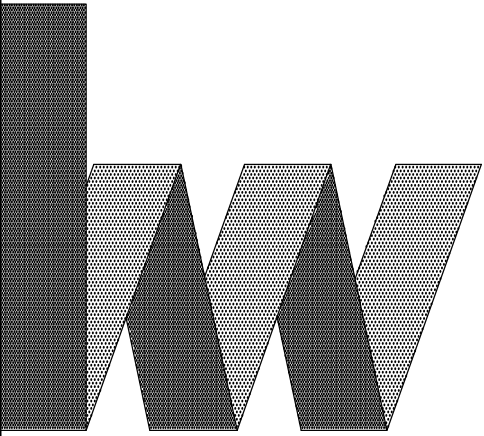
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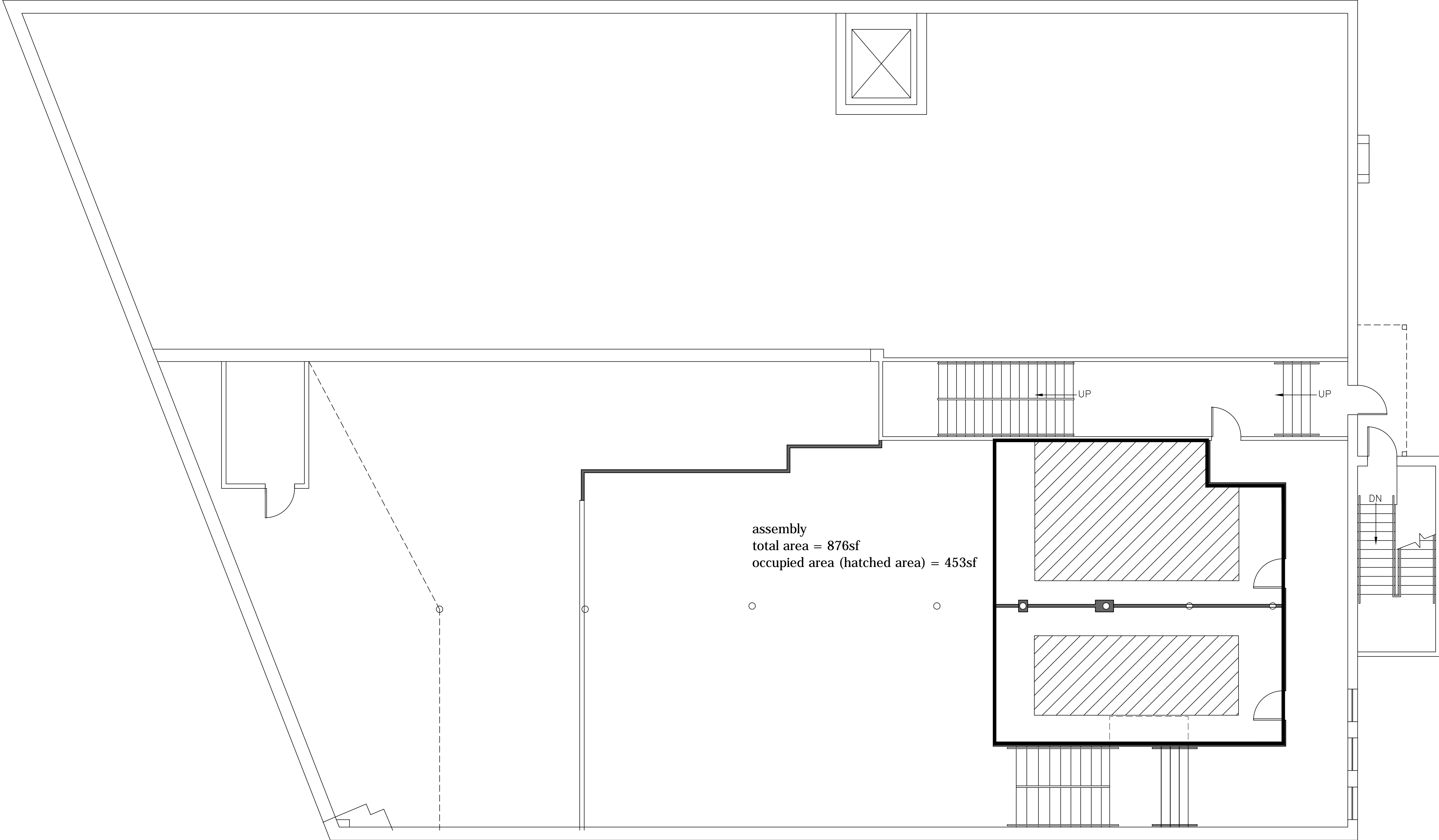
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MEZZANINE
OCCUPANCY


G103M

1212.081



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PLAN NORTH

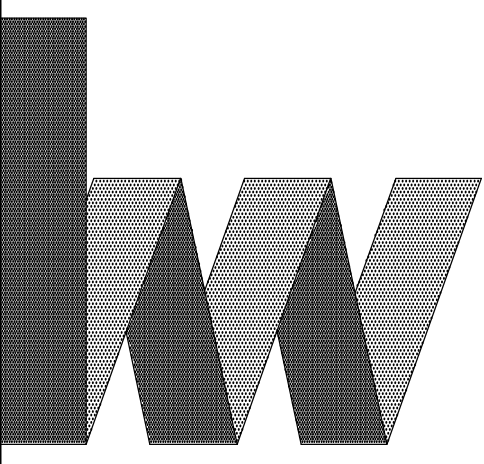
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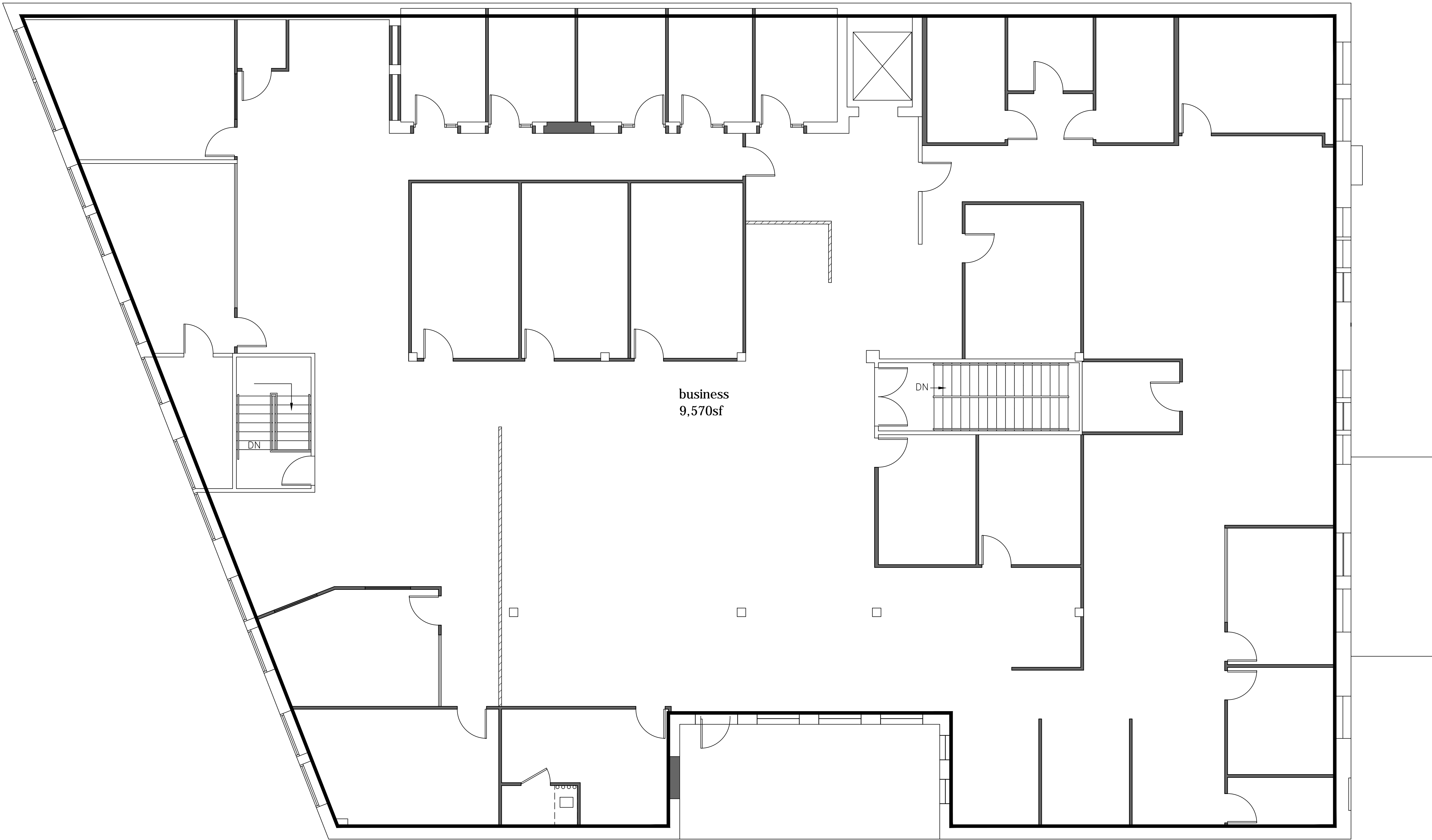
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SECOND FLOOR
OCCUPANCY

G104

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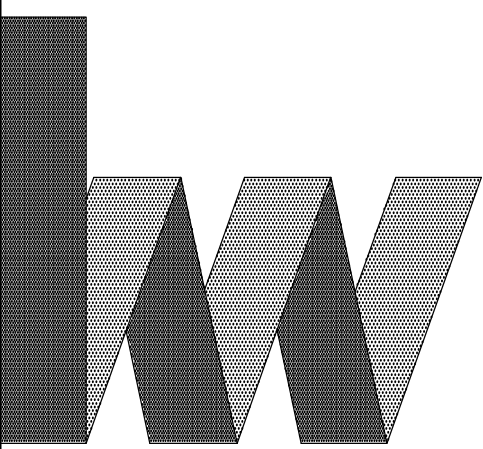
FIRST FLOOR PLAN
3/16" = 1'-0"
PLAN NORTH



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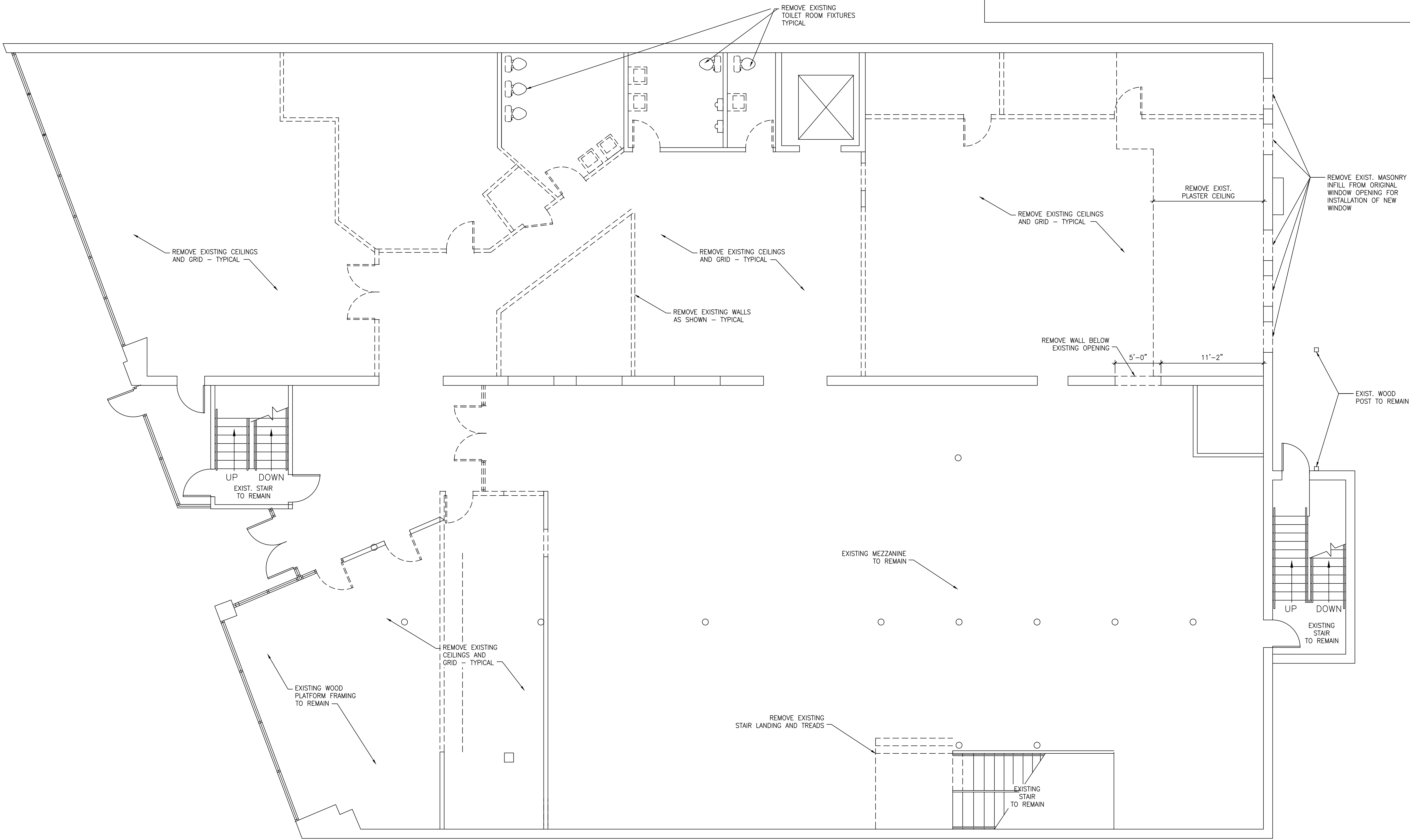
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FIRST FLOOR
DEMO PLAN

D101

DEMOLITION GENERAL NOTES

- ===== PARTITIONS TO REMAIN
- REMOVE EXISTING PARTITIONS AND DOORS
- COORDINATE ALL DEMOLITION WITH NEW CONSTRUCTION INDICATED ELSEWHERE
IN THESE DOCUMENTS. REPAIR ALL SURFACES TO REMAIN FOR NEW CONSTRUCTION
AND FINISHES.
- CAP ALL UNUSED UTILITIES.
- REMOVE ALL EXISTING FLOOR FINISHES UNLESS NOTED OTHERWISE.



FIRST FLOOR DEMO PLAN
3/16" = 1'-0"

PLAN
NORTH

DEMOLITION GENERAL NOTES

=====

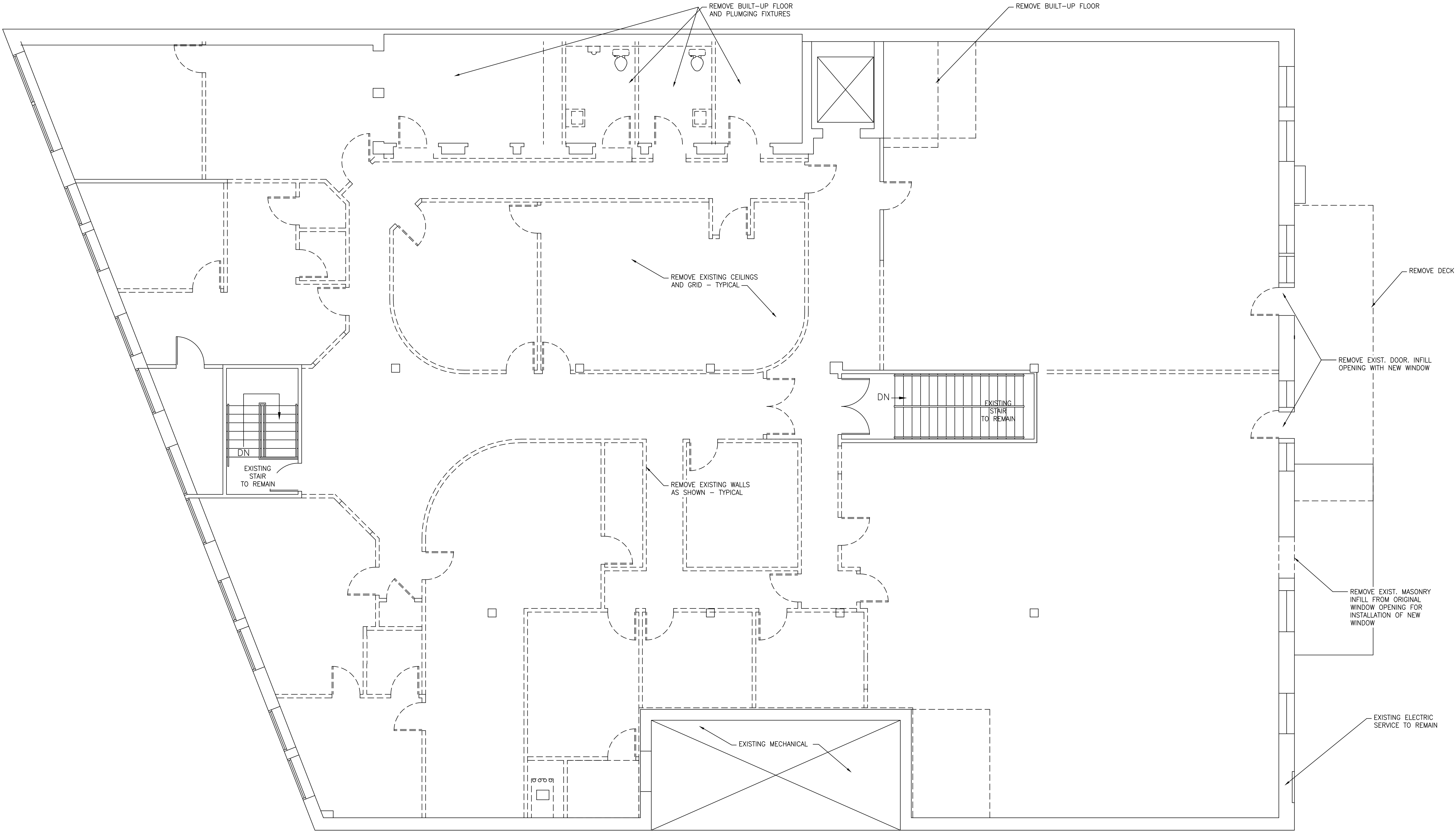
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CAP ALL UNUSED UTILITIES.


REMOVE ALL EXISTING FLOOR FINISHES UNLESS NOTED OTHERWISE.



PLAN NORTH

SECOND FLOOR DEMO PLAN
3/16" = 1'-0"

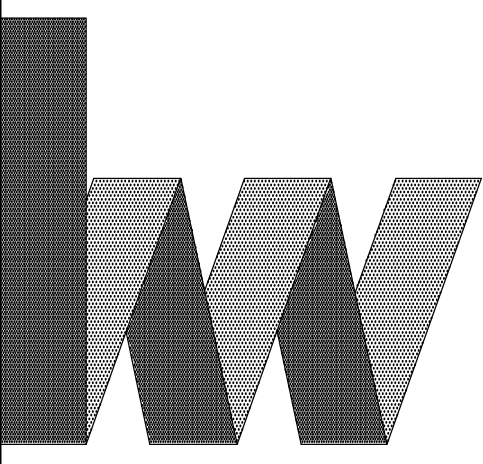
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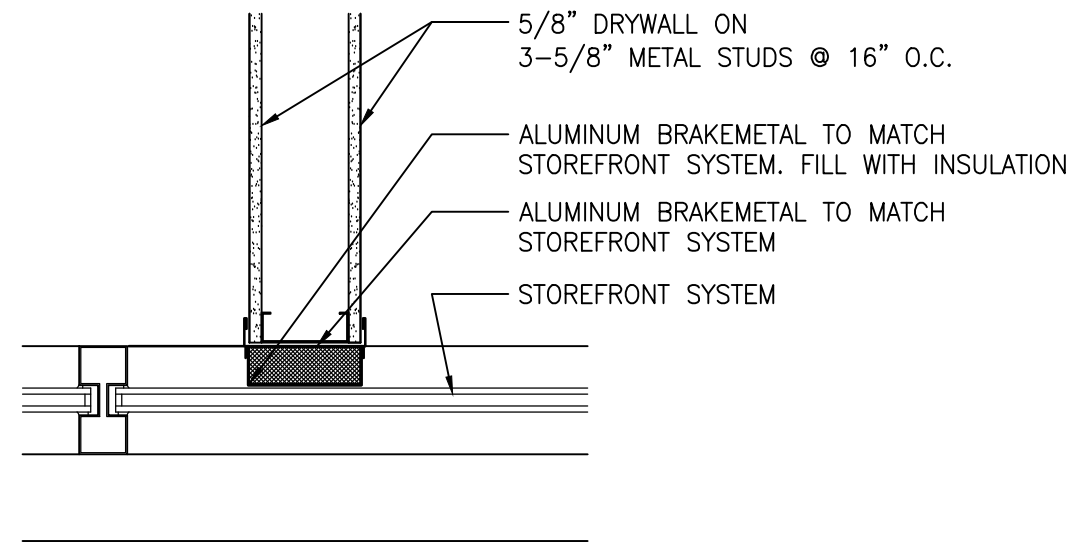
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SECOND FLOOR
DEMOLITION PLAN

D102

1212.081



DETAIL
A101 1-1/2" = 1'-0"

DIMENSIONS: DIMENSIONS ARE TO FACE OF FRAMING AND EXISTING FINISHES UNO. USE DIMENSIONS SHOWN; IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM DRAWINGS. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION. COORDINATE ALL DIMENSIONS WITH WORK BY OTHERS. NOTIFY OWNER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

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GENERAL NOTES

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PARTITION NOTES

EXISTING PARTITION

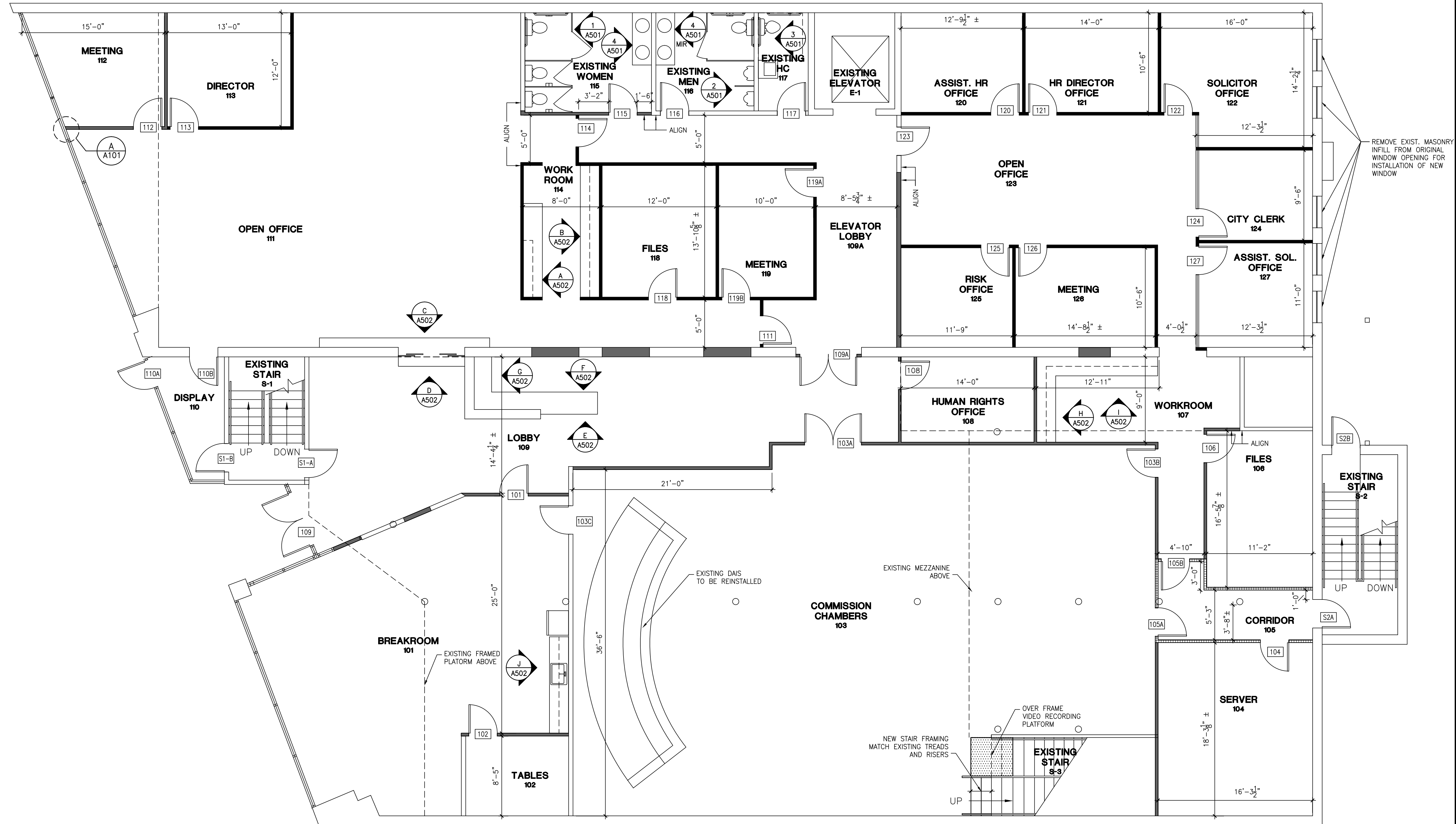
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NEW GLASS PARTITION. GLASS IN WOOD FRAME. SPACE MULLIONS EVENLY ACROSS ELEVATION. PROVIDE SAFETY GLAZING AT ALL PANES WHERE EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SQ.FT. EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE FLOOR AND EXPOSED TOP EDGE GREAT THAN 36" ABOVE FLOOR. PROVIDE SAFETY GLAZING IN ALL PANES ADJACENT TO DOORS.

NEW 6'-0"H. PARTITION. 3 5/8" METAL STUDS AT 16" ON CENTER WITH 5/8" GYPSUM BOARD EACH SIDE UNO. PROVIDE PAINTED WOOD CAP.

NEW 10'-0"H. PARTITION. 3 5/8" METAL STUDS AT 16" ON CENTER WITH 5/8" GYPSUM BOARD. PROVIDE SOUND BATTS.

NEW 1 HOUR RATED PARTITION 3 5/8" METAL STUDS AT 16" ON CENTER TO UNDERSIDE OF EXISTING CEILING WITH 5/8" FIRE RATED GYPSUM BOARD EACH SIDE UNO. PROVIDE SOUND BATTS. UL U419



FIRST FLOOR PLAN
3/16" = 1'-0"
PLAN NORTH

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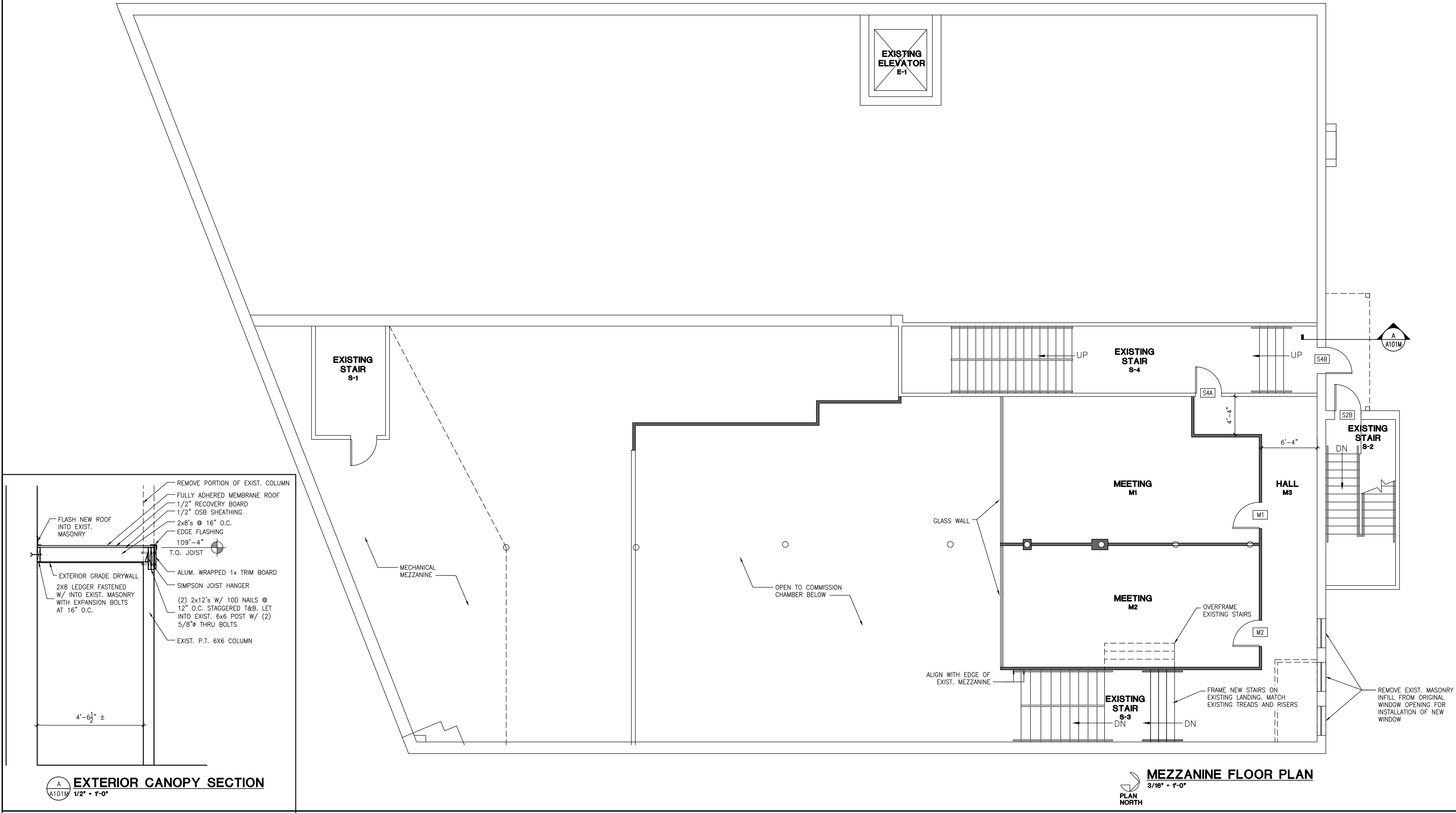
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**FIRST
FLOOR PLAN**

A101

1212.081

GENERAL NOTES			PARTITION NOTES
DIMENSIONS: DIMENSIONS ARE TO FACE OF FRAMING AND EXISTING FINISHES UNO. USE DIMENSIONS SHOWN; IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM DRAWINGS. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION. COORDINATE ALL DIMENSIONS WITH WORK BY OTHERS. NOTIFY OWNER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.	WHERE NO SPECIFIC STANDARDS ARE APPLIED TO A MATERIAL OR METHOD OF CONSTRUCTION TO BE USED IN THE WORK ALL SUCH MATERIALS AND METHODS ARE TO MAINTAIN STANDARDS OF THE INDUSTRY.	DO NOT NOTCH OR DRILL JOISTS, BEAMS OR LOAD BEARING STUDS WITHOUT PRIOR APPROVAL OF DESIGNER.	EXISTING PARTITION
			NEW PARTITION - TYPICAL - 3 5/8" METAL STUDS (6" AT PLUMBING WALLS) AT 16" ON CENTER TO UNDERSIDE OF EXISTING CEILING WITH 5/8" GYPSUM BOARD EACH SIDE UNO. PROVIDE SOUND BATTS.
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MEZZANINE FLOOR PLAN

A101m

1212.081

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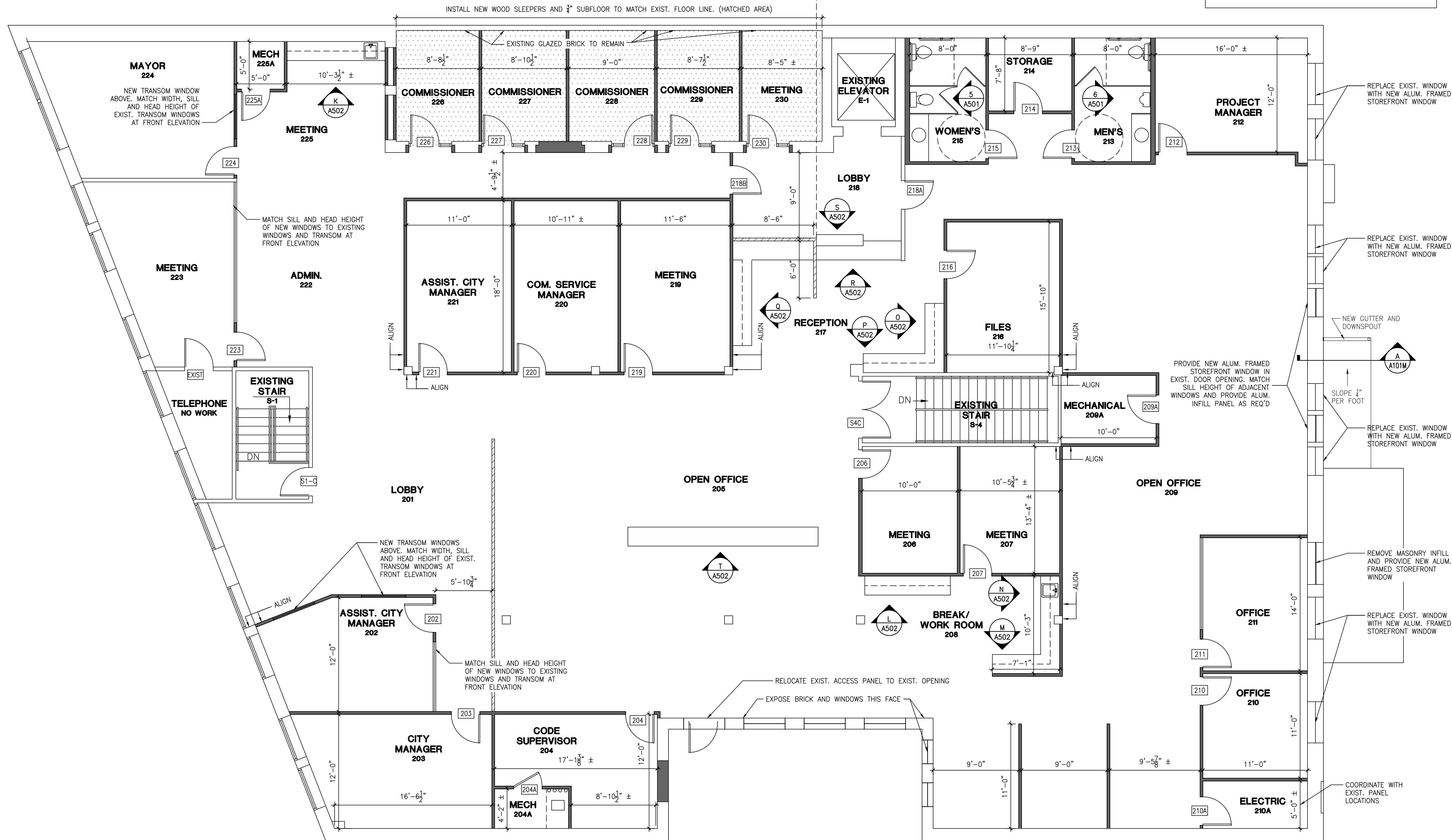
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SECOND FLOOR PLAN
3/16" = 1'-0"
PLAN NORTH

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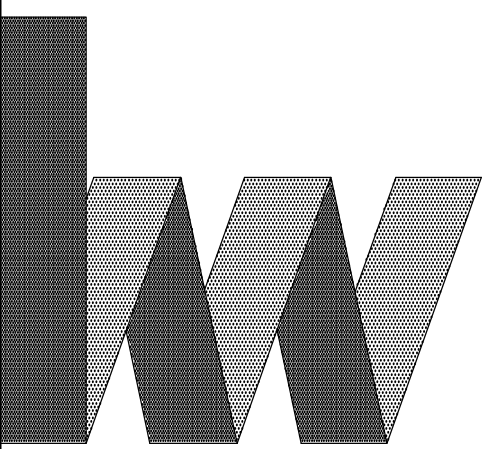
SECOND FLOOR PLAN

A102

1212.081



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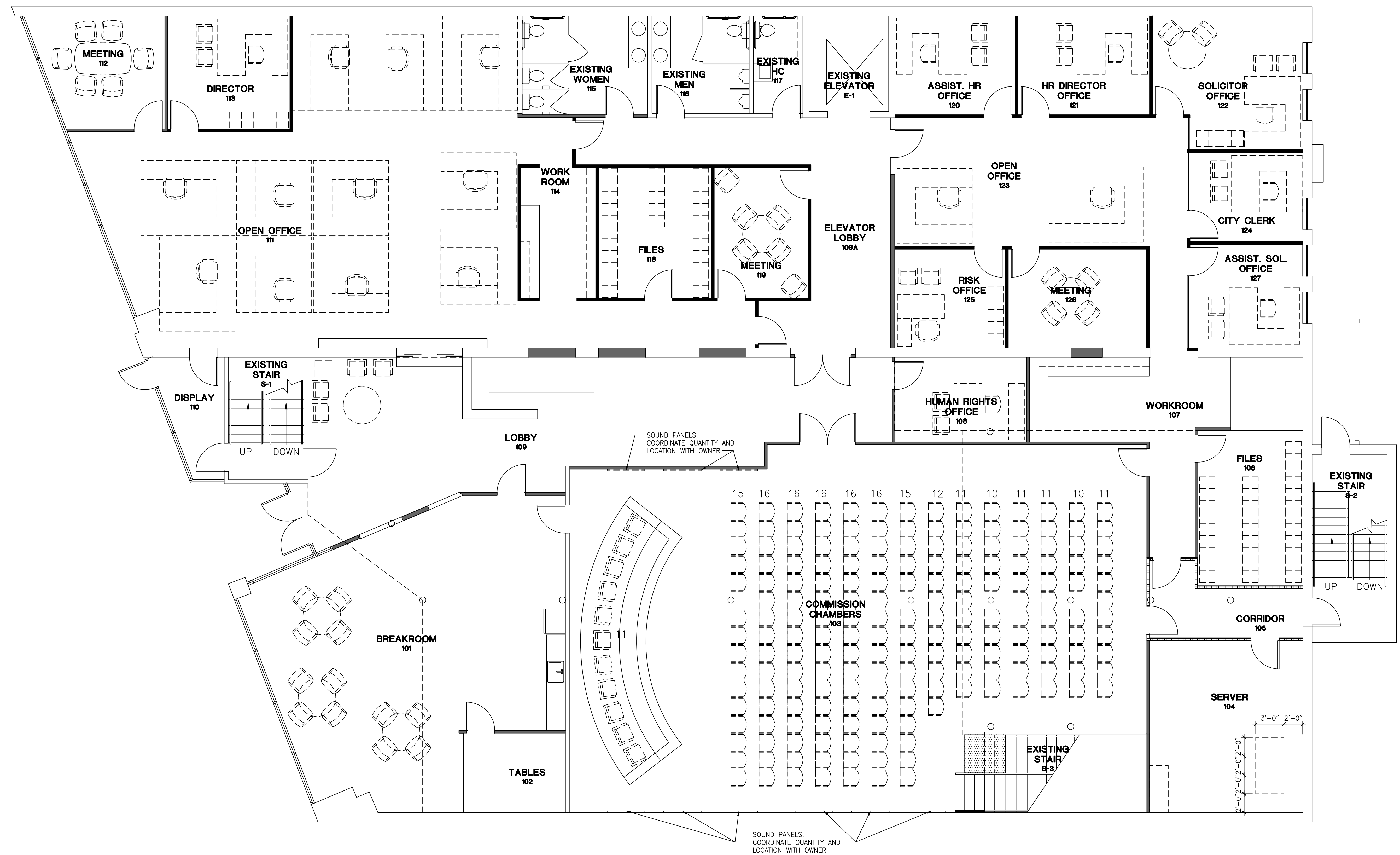
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FIRST FLOOR
FURNITURE PLAN

F101



FIRST FURNITURE FLOOR PLAN
3/16" = 1'-0"
PLAN NORTH

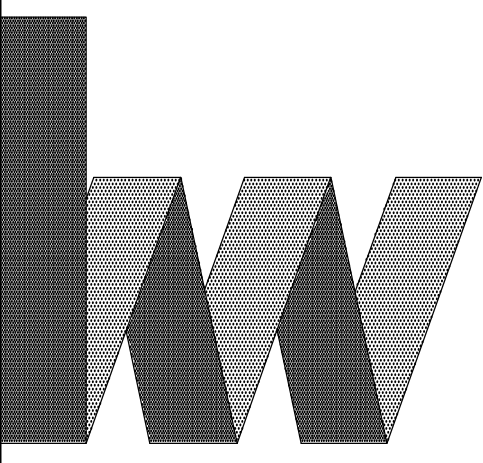
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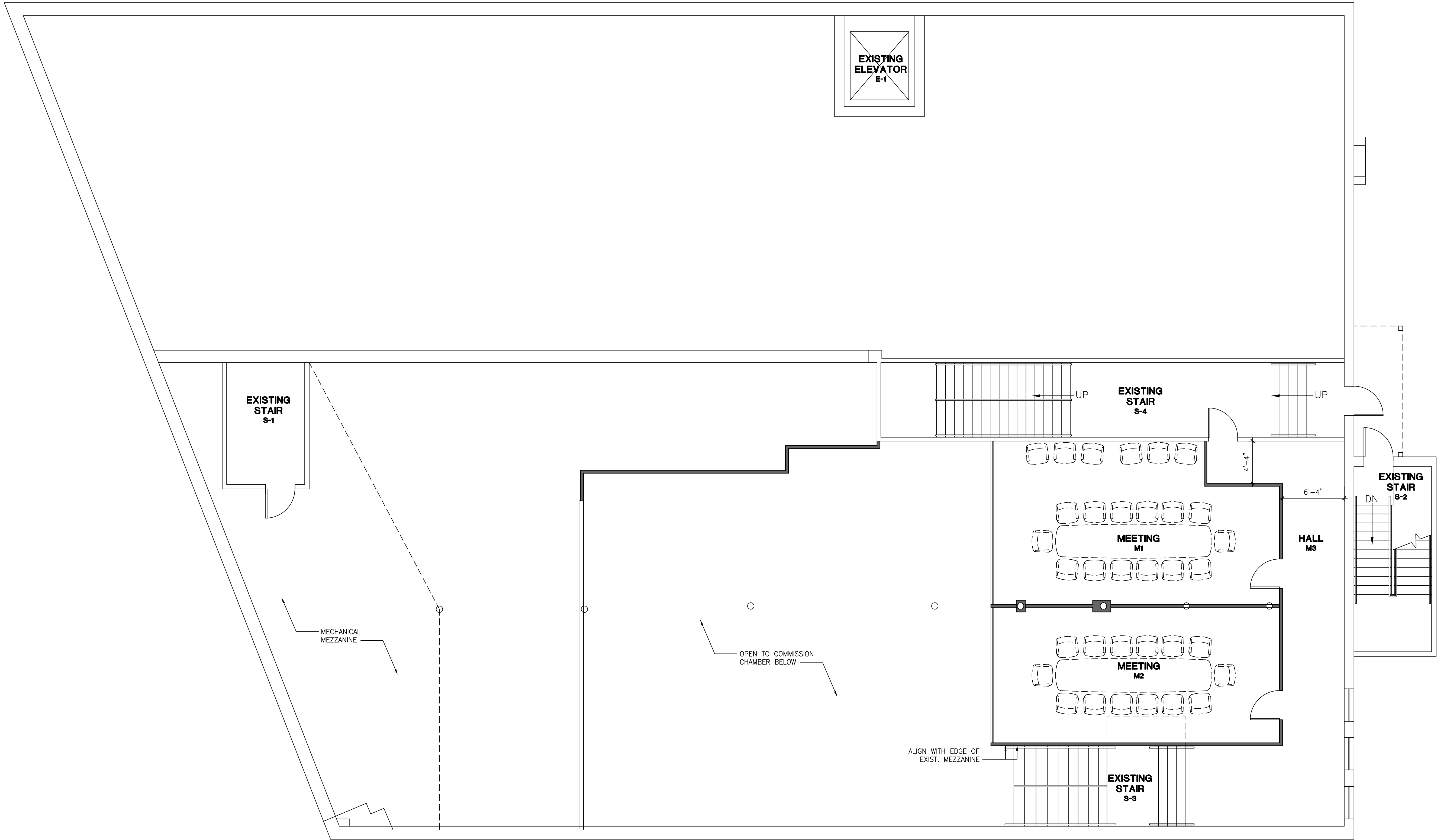
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MEZZANINE
FURNITURE PLAN

F101m

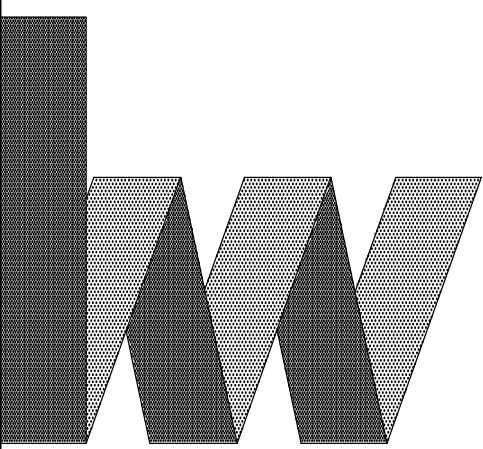
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MEZZANINE FURNITURE FLOOR PLAN
3/16" = 1'-0"
PLAN NORTH



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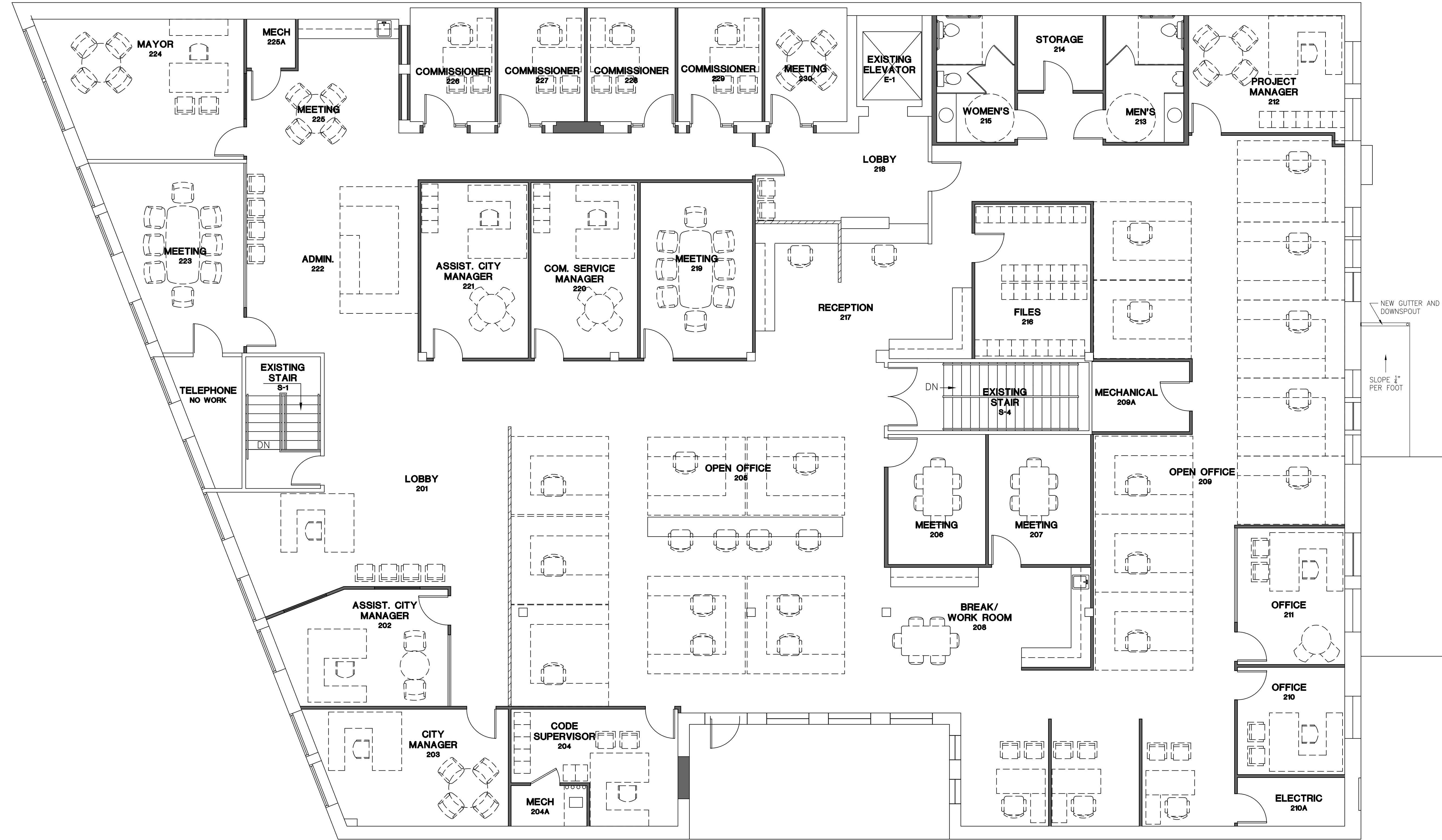
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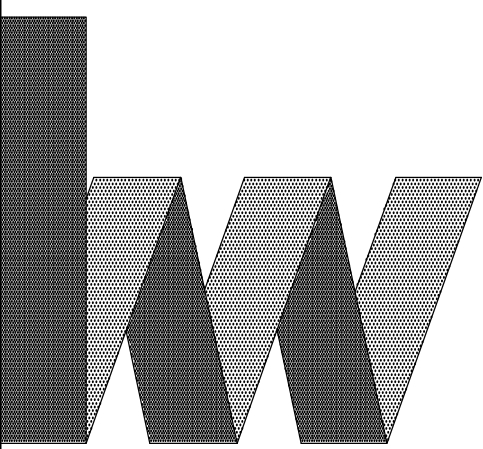
F102



SECOND FURNITURE FLOOR PLAN
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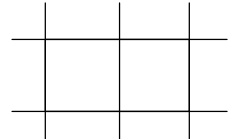
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FIRST FLOOR
REFLECTED
CEILING PLAN

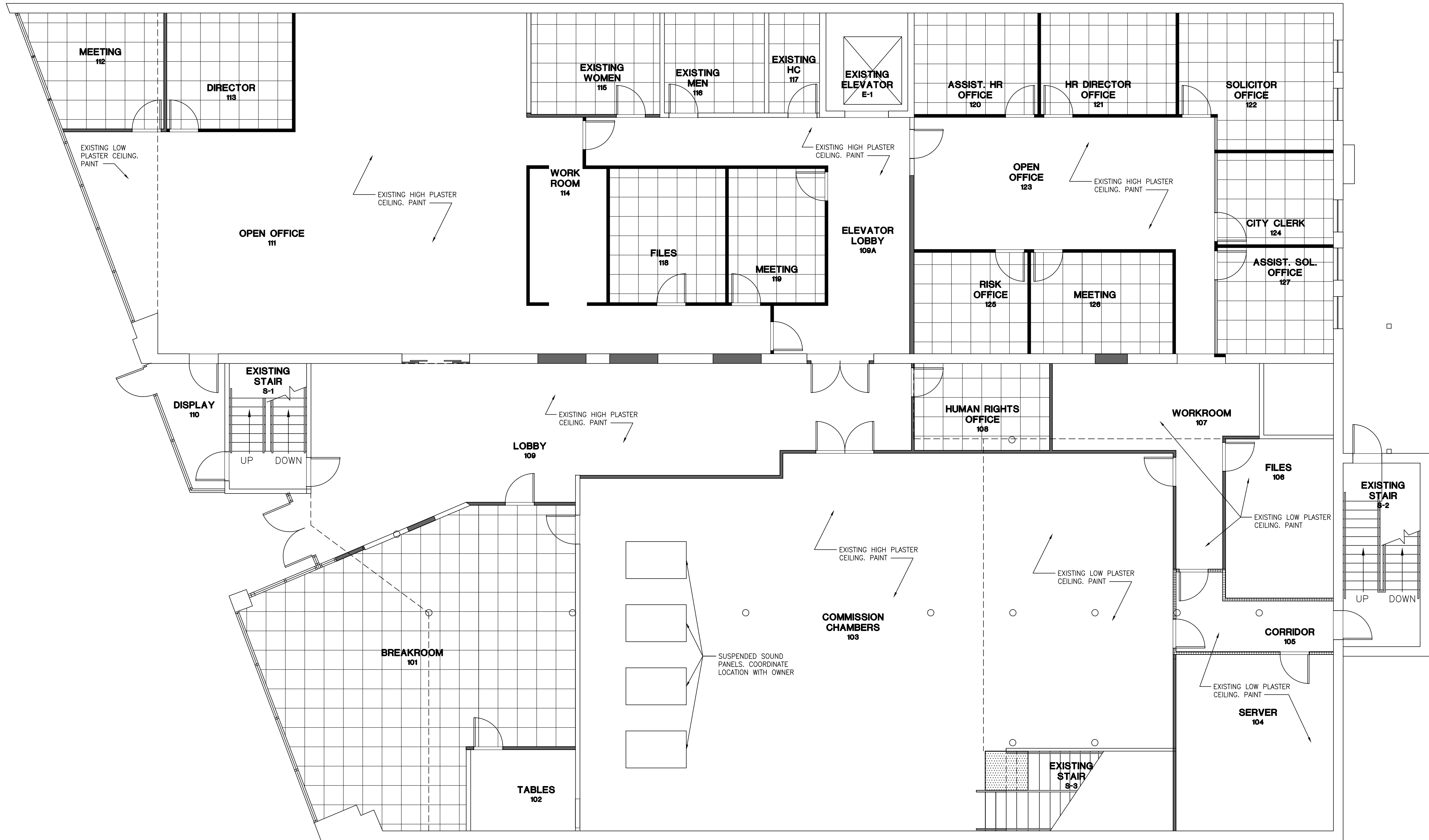
A401

GENERAL CEILING NOTES

- EXISTING CEILINGS TO REMAIN THROUGHOUT. PAINT, U.N.O.



NEW 2x2 GRID AND CEILING TILES AT 9'-0" A.F.F.



FIRST FLOOR REFLECTED CEILING PLAN

3/16" = 1'-0"

PLAN NORTH

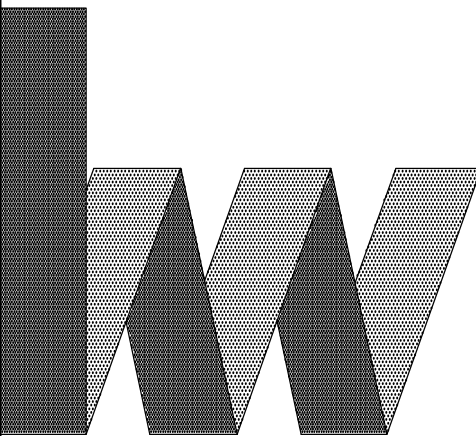
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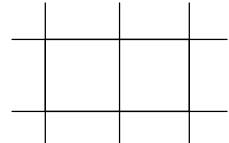
SECOND FLOOR
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CEILING PLAN

A402

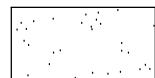
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GENERAL CEILING NOTES

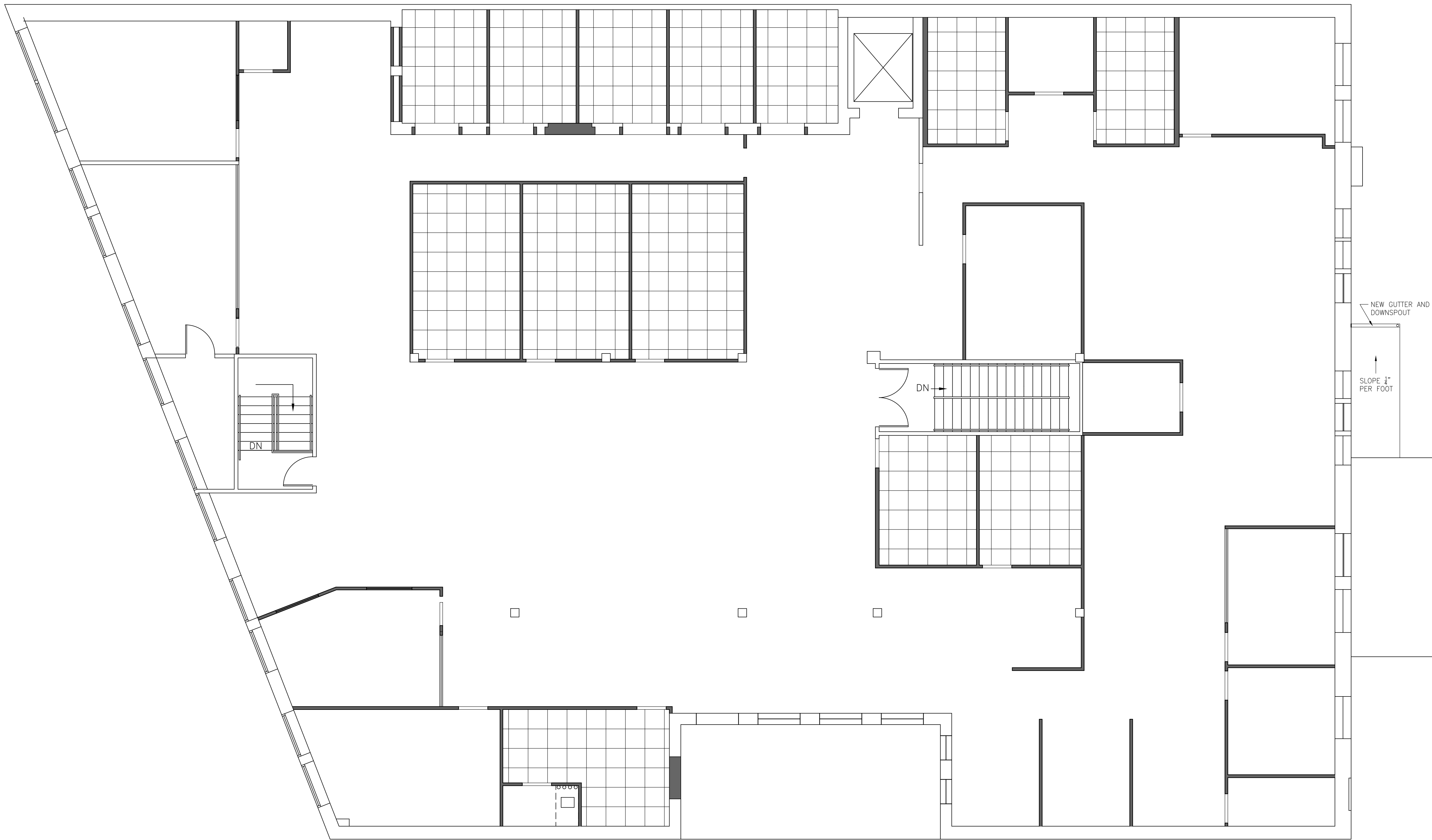
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NEW 2x2 GRID AND CEILING TILES AT 9'-0" A.F.F.



NEW DRYWALL CEILING, ANGLE FROM HEAD OF
NEW WINDOW TO EXISTING CEILING.



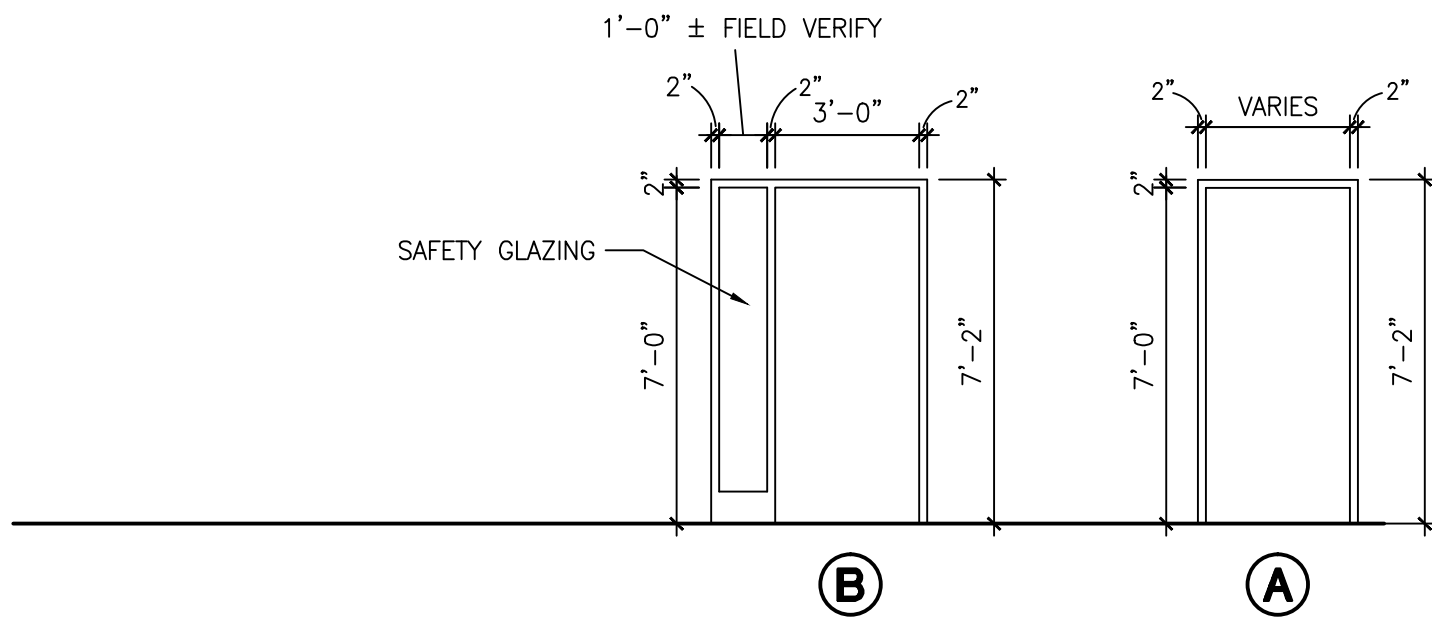
SECOND FLOOR REFLECTED CEILING PLAN
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SAFETY GLAZING

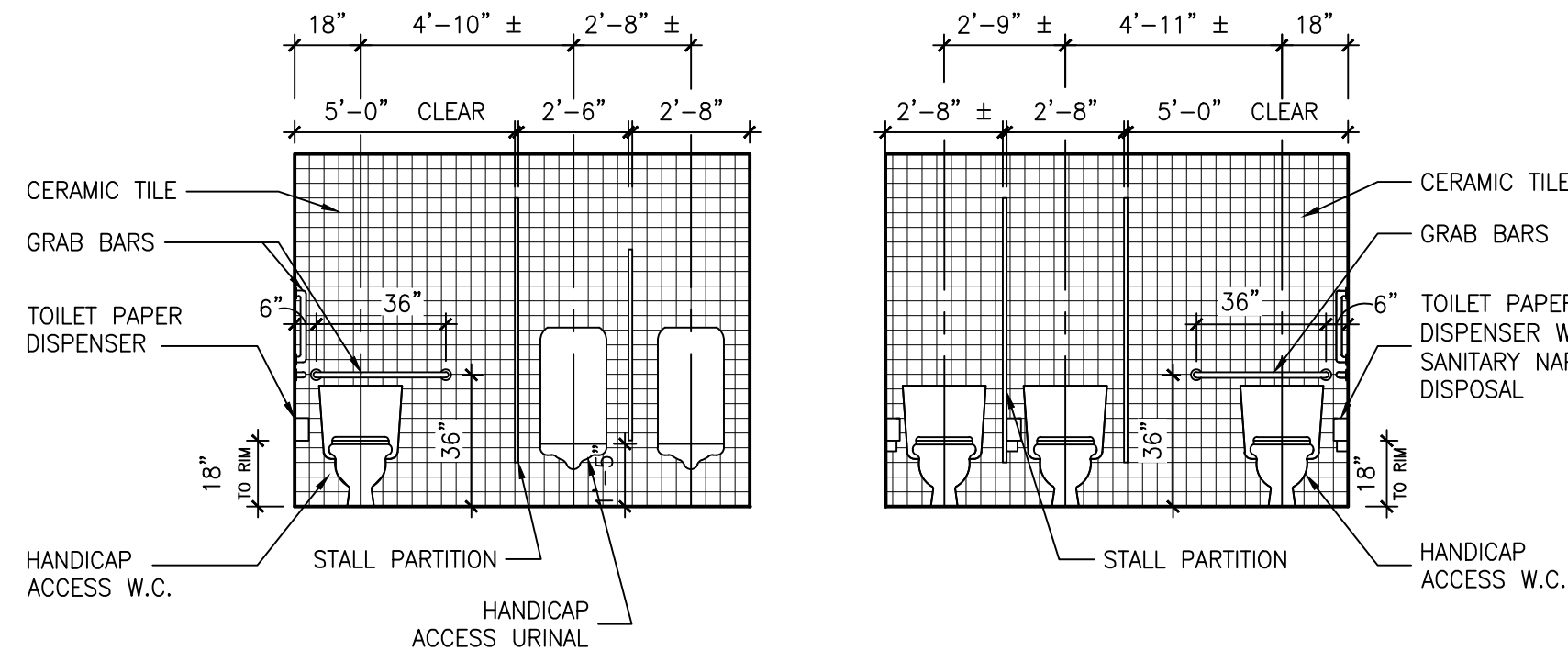
②

①

DOOR TYPES



FRAME TYPES

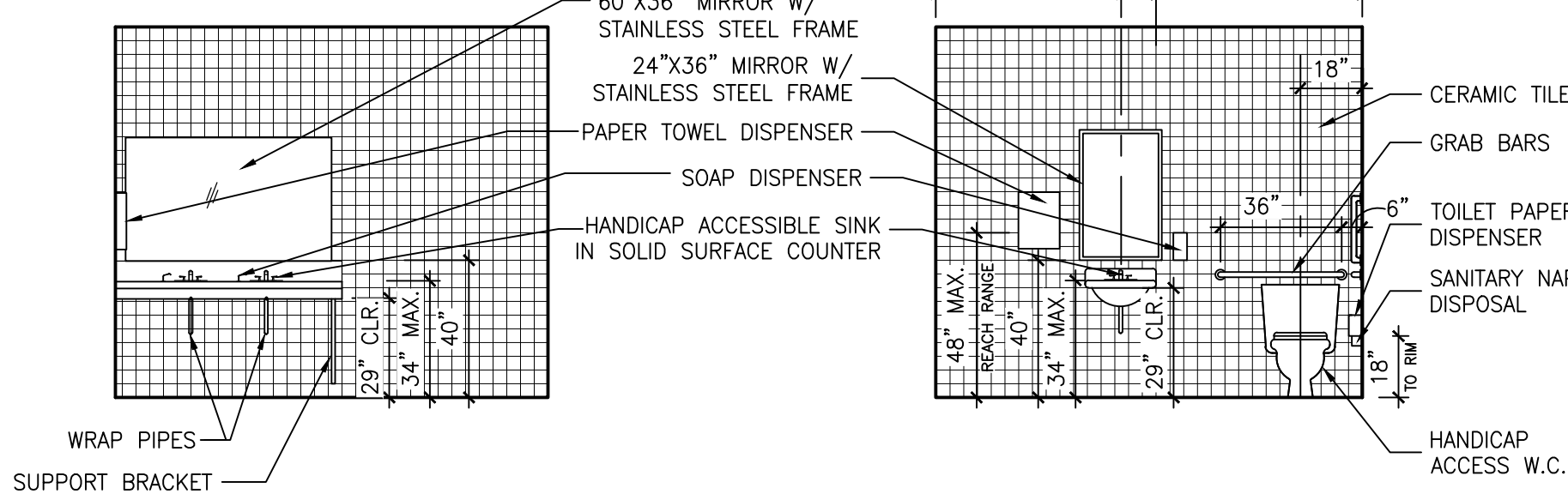


EXIST. MEN'S 116 RESTROOM ELEVATION

2
A501

EXIST. WOMEN'S 115 RESTROOM ELEVATION

1
A501

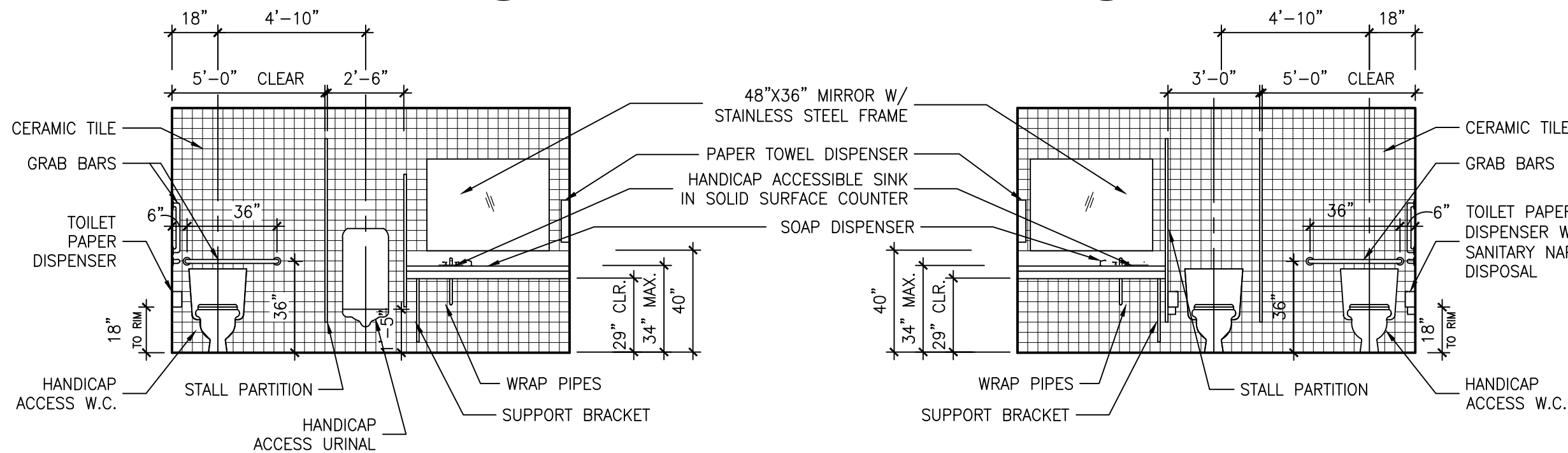


EXIST. WOMEN'S 115 RESTROOM ELEVATION

4
A501

EXIST. HANDICAP 117 RESTROOM ELEVATION

3
A501



NEW MEN'S 213 RESTROOM ELEVATION

6
A501

NEW WOMEN'S 215 RESTROOM ELEVATION

5
A501

DOOR SCHEDULE

NO.	DOOR			FRAME		GLASS	LOUV.	LABEL	HDWE.	REMARKS
	SIZE	MAT.	TYPE	MAT.	TYPE					
101	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	--	4*	* CARD CONTROL
102	3'-0"x 7'-0"x 1 3/4"	SCWD	1	HM	A	--	--	--	3	--
103A	(2)3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	--	5C*	* CARD CONTROL
103B	3'-0"x 7'-0"x 1 3/4"	SCWD	1	HM	A	--	--	--	5	* CARD CONTROL
103C	3'-0"x 7'-0"x 1 3/4"	SCWD	1	HM	A	--	--	--	5	--
104	3'-0"x 7'-0"x 1 3/4"	SCWD	1	HM	A	--	--	20MIN	3*	* CARD CONTROL
105A	3'-0"x 7'-0"x 1 3/4"	SCWD	1	HM	A	--	--	20MIN	4B	--
105B	3'-0"x 7'-0"x 1 3/4"	SCWD	1	HM	A	--	--	20MIN	4A	* CARD CONTROL
106	3'-0"x 7'-0"x 1 3/4"	SCWD	1	HM	A	--	--	--	3	--
108	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	--	4	--
109	(2)3'-0"x 7'-0"x 1 3/4"	ALUM.	2	ALUM.	A	X	--	--	5C*	* CARD CONTROL
109A	(2)3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	--	5B*	* CARD CONTROL
110A	EXISTING	--	--	--	--	--	--	--	--	--
110B	EXISTING	--	--	--	--	--	--	--	--	--
111	3'-0"x 7'-0"x 1 3/4"	SCWD	1	HM	A	--	--	--	1*	* CARD CONTROL
112	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	--	1	--
113	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	--	1	--
114	3'-0"x 7'-0"x 1 3/4"	SCWD	1	HM	A	--	--	--	1*	* CARD CONTROL
115	3'-0"x 7'-0"x 1 3/4"	SCWD	1	HM	A	--	--	--	2	--
116	3'-0"x 7'-0"x 1 3/4"	SCWD	1	HM	A	--	--	--	2	--
117	3'-0"x 7'-0"x 1 3/4"	SCWD	1	HM	A	--	--	--	6	--
118	3'-0"x 7'-0"x 1 3/4"	SCWD	1	HM	A	--	--	--	3	--
119A	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	--	1*	* CARD CONTROL
119B	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	--	1*	* CARD CONTROL
120	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	--	1	--
121	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	--	1	--
122	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	--	1	--
123	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	--	5*	* CARD CONTROL
124	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	--	1	--
125	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	--	1	--
126	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	--	1	--
127	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	--	1	--
M1	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	--	1	--
M2	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	--	1	--
202	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	--	1	--
203	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	--	1	--
204	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	--	1	--
204A	3'-0"x 7'-0"x 1 3/4"	SCWD	1	HM	A	--	--	--	3	--
206	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	--	1	--
207	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	--	1	--
209A	3'-0"x 7'-0"x 1 3/4"	SCWD	1	HM	A	--	--	--	3	--
210	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	--	1	--
210A	3'-0"x 7'-0"x 1 3/4"	SCWD	1	HM	A	--	--	--	3	--
211	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	--	1	--
212	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	--	1	--
213	3'-0"x 7'-0"x 1 3/4"	SCWD	1	HM	A	--	--	--	2	--
214	3'-0"x 7'-0"x 1 3/4"	SCWD	1	HM	A	--	--	--	3	--
215	3'-0"x 7'-0"x 1 3/4"	SCWD	1	HM	A	--	--	--	2	--
216	3'-0"x 7'-0"x 1 3/4"	SCWD	1	HM	A	--	--	--	3	--
218B	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	--	1*	* CARD CONTROL
218B	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	--	1*	* CARD CONTROL
219	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	--	1	--
220	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	--	1	--
221	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	--	1	--
223	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	--	1	--
224	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	--	1	--
225A	3'-0"x 7'-0"x 1 3/4"	SCWD	1	HM	A	--	--	--	3	--
226	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	B	X	--	--	1	--
227	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	B	X	--	--	1	--
228	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	B	X	--	--	1	--
229	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	B	X	--	--	1	--
230	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	B	X	--	--	1	--
S1-A	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	90MIN	5A*	* CARD CONTROL
S1-B	EXISTING	--	--	--	--	--	--	--	--	--
S1-C	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	90MIN	5A*	* CARD CONTROL
S2-A	EXISTING	--	--	--	--	--	--	--	--	--
S2-B	EXISTING	--	--	--	--	--	--	--	--	--
S4-A	3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	90MIN	5A*	* CARD CONTROL
S4-B	EXISTING	--	--	--	--	--	--	--	--	* CARD CONTROL
S4-C	(2) 3'-0"x 7'-0"x 1 3/4"	SCWD	2	HM	A	X	--	90MIN	5C*	* CARD CONTROL

NOTES:

HANDLES, PULLS, AND OTHER OPERATING DEVICES SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST TO OPERATE. PUSH TYPE MECHANISMS AND LEVER HANDLES ARE ACCEPTABLE DESIGNS. THUMB TURN SHALL BE PADDLE TYPE.

ALL GLASS IN DOORS AND FIXED ADJACENT SIDELITES TO BE SAFETY GLASS.

ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE SIDE WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF KEY, SPECIAL KNOWLEDGE OR EFFORT.

PROVIDE DOOR STOPS AS REQUIRED

SET 1

OFFICE LOCK
3 HINGES

SET 2

PUSH/PULL
3 HINGES
1 CLOSER

SET 3

STORAGE LOCK
3 HINGES
1 CLOSER

SET 4

CLASSROOM LOCK
3 HINGES
1 CLOSER

SET 5

ENTRY LOCK
3 HINGES
1 CLOSER

SET 5B

ENTRY LOCK
6 HINGES
1 FLUSH BOLT
2 CLOSERS

SET 6

PRIVACY LOCK
3 HINGES
1 CLOSER

SET 4B

CLASSROOM LOCK
3 HINGES
1 CLOSER

SET 5A

ENTRY LOCK
3 HINGES
1 CLOSER

SET 5C

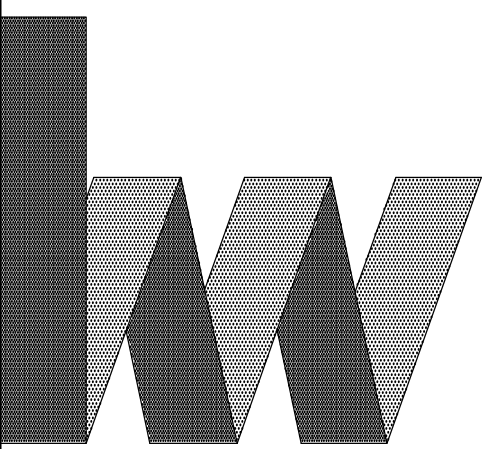
ENTRY LOCK
6 HINGES
1 FLUSH BOLT
2 CLOSERS

ROOM FINISH SCHEDULE

NO.	NAME	FLR.	BASE	WALLS		CEILING			REMARKS
				CONST.	FIN.	CONST.	FIN.	HGT.	
101	BREAKROOM	VCT	TSV	DW	P	SAT	-	9'-0"	-
102	TABLES	VCT	TSV	DW	P	-	P	-	-
103	COMMISSION CHAMBERS	C	TSV	DW	P	-	P	-	VARIES
104	SERVER	VCT	TSV	DW	P	-	P	-	-
105	CORRIDOR	C	TSV	DW	P	-	P	-	-
106	FILES	C	TSV	DW	P	-	P	-	-
107	WORKROOM	C	TSV	DW	P	-	P	-	-
108	HUMAN RIGHTS OFFICE	C	TSV	DW	P	SAT	-	9'-0"	-
109	LOBBY	CT	TSV	DW	P	-	P	-	-
109A	ELEVATOR LOBBY	CT	TSV	DW	P	-	P	-	-
110	DISPLAY	CT	TSV	DW	P	-	P	-	-
111	OPEN OFFICE	C	TSV	DW	P	-	P	-	-
112	MEETING	C	TSV	DW	P	SAT	-	9'-0"	-
113	DIRECTOR	C	TSV	DW	P	SAT	-	9'-0"	-
114	WORK ROOM	C	TSV	DW	P	-	P	-	-
115	WOMENS RESTROOM	CT	CT	DW	CT	SAT	-	9'-0"	-
116	MENS RESTROOM	CT	CT	DW	CT	SAT	-	9'-0"	-
117	HANDICAP RESTROOM	CT	CT	DW	CT	SAT	-	9'-0"	-
118	FILES	C	TSV	DW	P	-	P	-	-
119	MEETING	C	TSV	DW	P	-	P	-	-
120	ASSIST. HR OFFICE	C	TSV	DW	P	SAT	-	9'-0"	-
121	HR DIRECTOR OFFICE	C	TSV	DW	P	SAT	-	9'-0"	-
122	SOLICITOR OFFICE	C	TSV	DW	P	SAT	-	9'-0"	-
123	OPEN OFFICE	C	TSV	DW	P	-	P	-	-
124	CITY CLERK	C	TSV	DW	P	SAT	-	9'-0"	-
125	RISK OFFICE	C	TSV	DW	P	SAT	-	9'-0"	-
126	MEETING	C	TSV	DW	P	SAT	-	9'-0"	-
127	ASSIST. SOLICITOR OFFICE	C	TSV	DW	P	SAT	-	9'-0"	-
M-1	MEETING	C	TSV	DW	P	-	P	-	-
M-2	MEETING	C	TSV	DW	P	-	P	-	-
M-3	HALL	C	TSV	DW	P	-	P	-	-
201	LOBBY	C	TSV	DW	P	-	P	-	-
202	ASSIST. CITY MANAGER	C	TSV	DW	P	-	P	-	-
203	CITY MANAGER	C	TSV	DW	P	-	P	-	-
204	CODE SUPERVISOR	C	TSV	DW	P	SAT	-	9'-0"	-
204A	MECHANICAL	VCT	TSV	DW	P	-	-	-	-
205	OPEN OFFICE	C	TSV	DW	P	-	P	-	-
206	MEETING	C	TSV	DW	P	SAT	-	9'-0"	-
207	MEETING	C	TSV	DW	P	SAT	-	9'-0"	-
208	BREAK/WORK AREA	C	TSV	DW	P	-	P	-	-
209	OPEN OFFICE	C	TSV	DW	P	-	P	-	-
209A	MECHANICAL	VCT	TSV	DW	P	-	P	-	-
210	OFFICE	C	TSV	DW	P	-	P	-	-
210A	ELECTRICAL	C	TSV	DW	P	-	P	-	-
211	OFFICE	C	TSV	DW	P	-	P	-	-
212	PROJECT MANAGER	C	TSV	DW	P	-	P	-	-
213	MENS RESTROOM	CT	CT	DW	CT	SAT	-	9'-0"	-
214	STORAGE	VCT	TSV	DW	P	-	P	-	-
215	WOMENS RESTROOM	CT	CT	DW	CT	SAT	-	9'-0"	-
216	FILES	C	TSV	DW	P	-	P	-	-
217	RECEPTION	C	TSV	DW	P	-	P	-	-
218	LOBBY	C	TSV	DW	P	-	P	-	-
219	MEETING	C	TSV	DW	P	SAT	-	9'-0"	-
220	COM. SERVICE MANAGER	C	TSV	DW	P	SAT	-	9'-0"	-
221	ASSIST. CITY MANAGER	C	TSV	DW	P	SAT	-	9'-0"	-
222	ADMIN	C	TSV	DW	P	-	P	-	-
223	MEETING	C	TSV	DW	P	-	P	-	-
224	MAYOR	C	TSV	DW	P	-	P	-	-
225	MEETING	C	TSV	DW	P	-	P	-	-
225A	MECH	VCT	TSV	DW	P	-	P	-	-
226	COMMISSIONER	C	TSV	DW	P*	SAT	-	9'-0"	GLAZED BRICK TO REMAIN EXPOSED
227	COMMISSIONER	C	TSV	DW	P*	SAT	-	9'-0"	GLAZED BRICK TO REMAIN EXPOSED
228	COMMISSIONER	C	TSV	DW	P*	SAT	-	9'-0"	GLAZED BRICK TO REMAIN EXPOSED
229	COMMISSIONER	C	TSV	DW	P*	SAT	-	9'-0"	GLAZED BRICK TO REMAIN EXPOSED
230	MEETING	C	TSV	DW	P*	SAT	-	9'-0"	GLAZED BRICK TO REMAIN EXPOSED
E-1	EXISTING ELEVATOR	-	-	DW	P	SAT	-	-	-
S-1	EXISTING STAIR	-	-	DW	P	-	P	-	-
S-2	EXISTING STAIR	-	-	DW	P	-	P	-	-
S-3	EXISTING STAIR	-	-	DW	P	-	P	-	-
S-4	EXISTING STAIR	-	-	DW	P	-	P	-	-



PROPOSED CITY OFFICES
20 WEST PIKE
COVINGTON, KENTUCKY



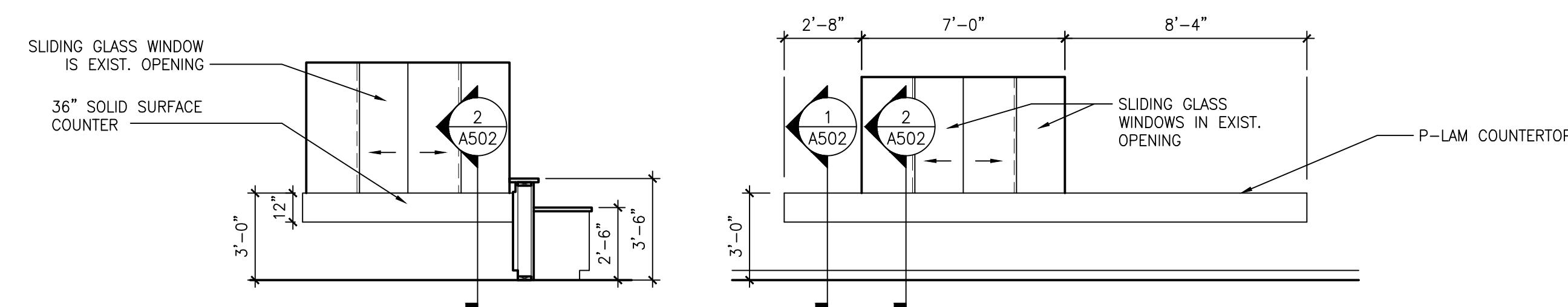
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Issued: 08.08.13
Revised:
08.16.2013 PERMIT ISSUE

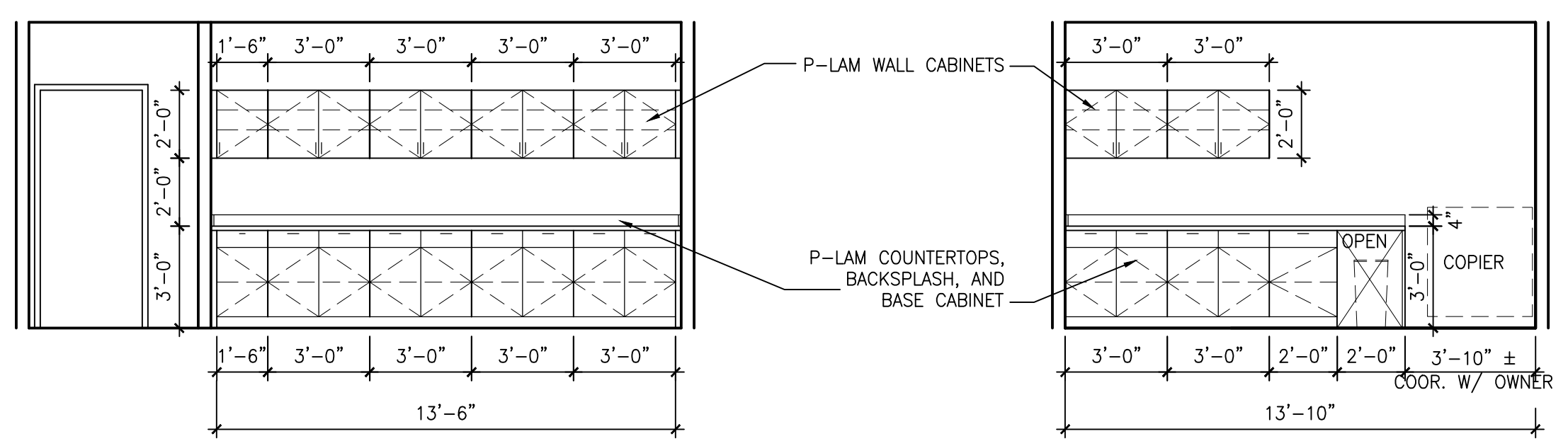
INTERIOR
ELEVATIONS

A502



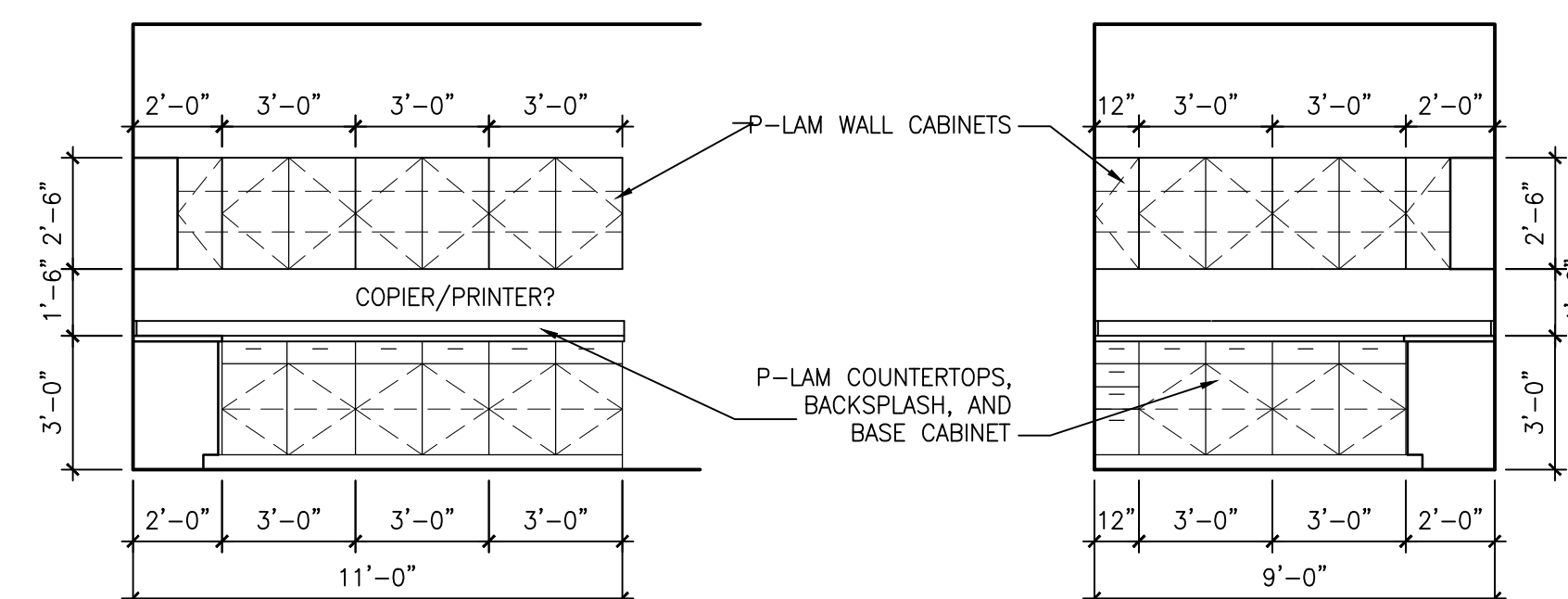
D INTERIOR ELEVATION
A502 1/4" = 1'-0"

C INTERIOR ELEVATION
A502 1/4" = 1'-0"



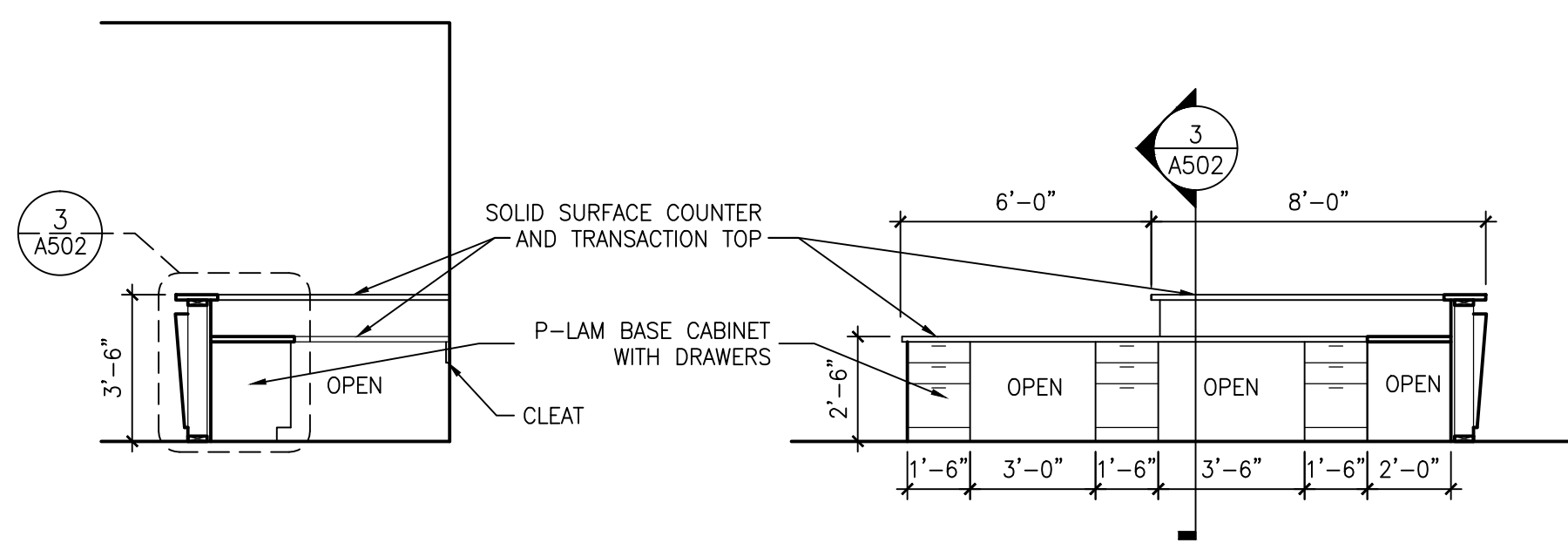
B INTERIOR ELEVATION
A502 1/4" = 1'-0"

A INTERIOR ELEVATION
A502 1/4" = 1'-0"



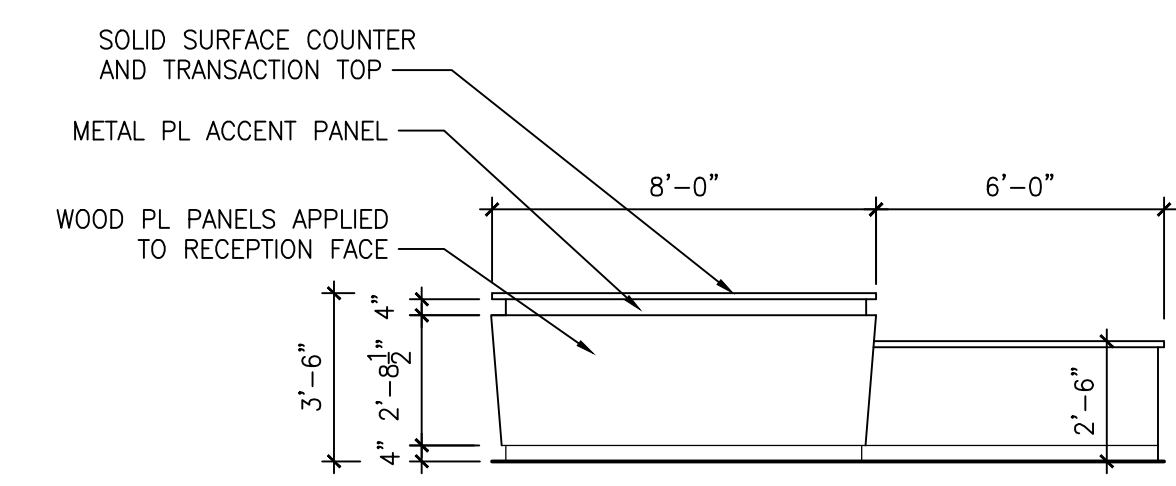
I INTERIOR ELEVATION
A502 1/4" = 1'-0"

H INTERIOR ELEVATION
A502 1/4" = 1'-0"

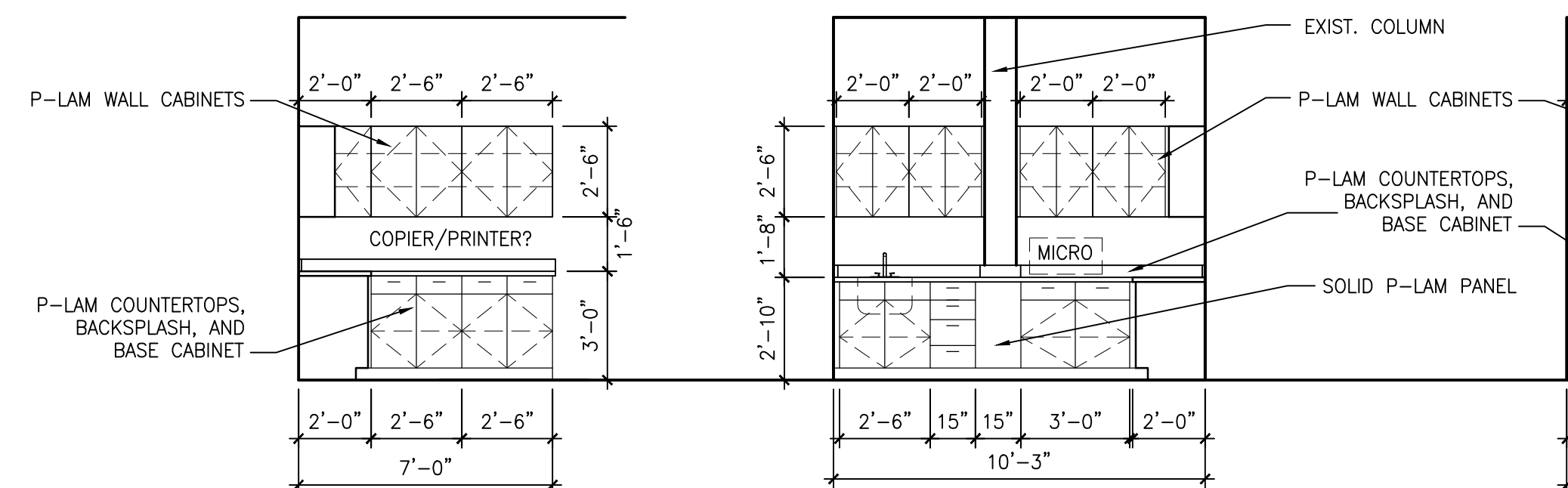


G INTERIOR ELEVATION
A502 1/4" = 1'-0"

F INTERIOR ELEVATION
A502 1/4" = 1'-0"

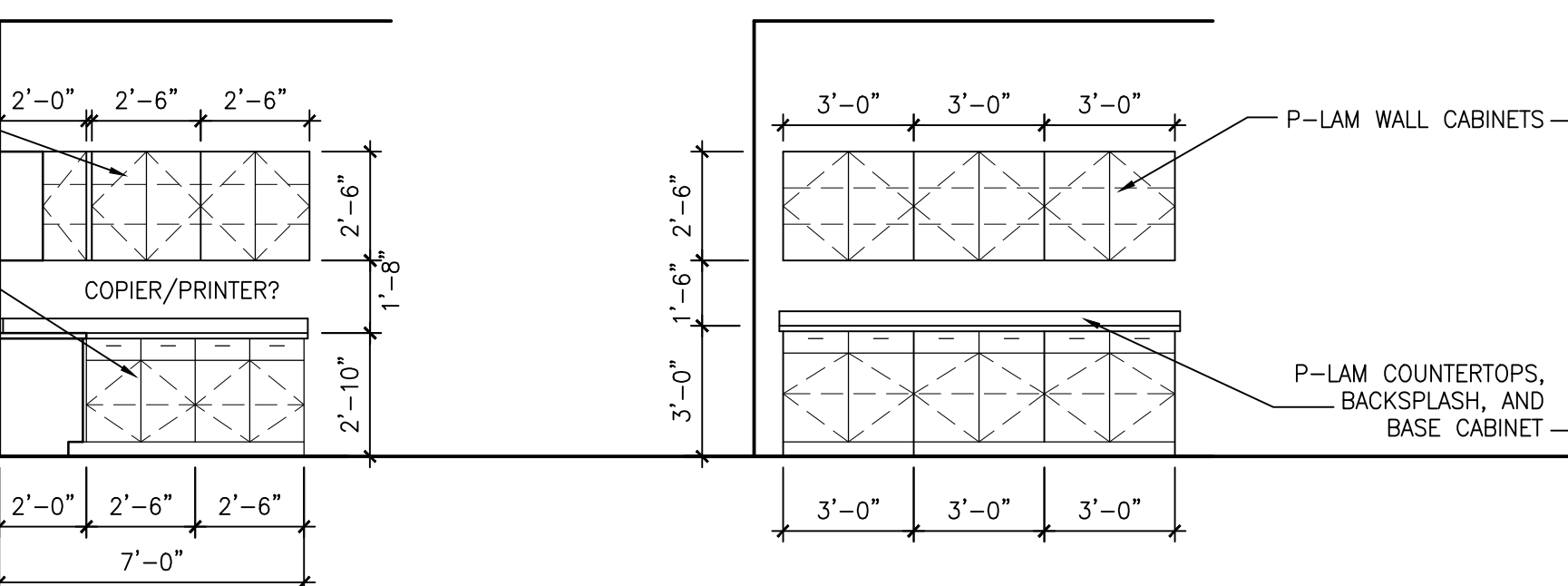


E INTERIOR ELEVATION
A502 1/4" = 1'-0"



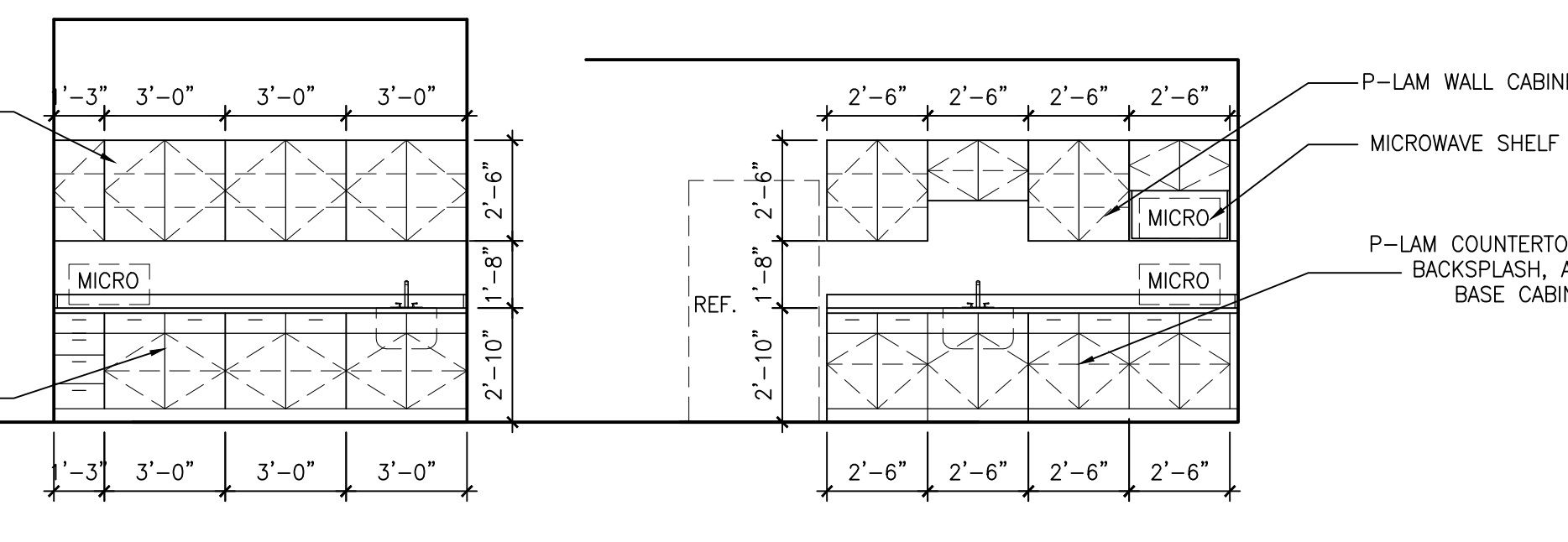
O INTERIOR ELEVATION
A502 1/4" = 1'-0"

N INTERIOR ELEVATION
A502 1/4" = 1'-0"



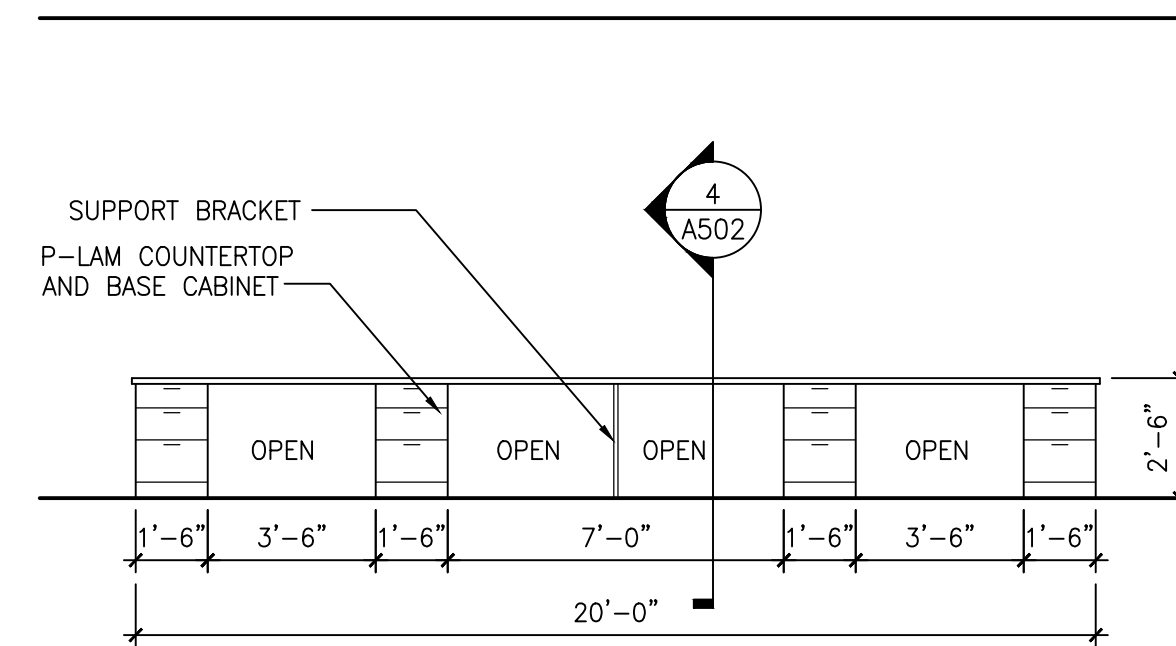
M INTERIOR ELEVATION
A502 1/4" = 1'-0"

L INTERIOR ELEVATION
A502 1/4" = 1'-0"

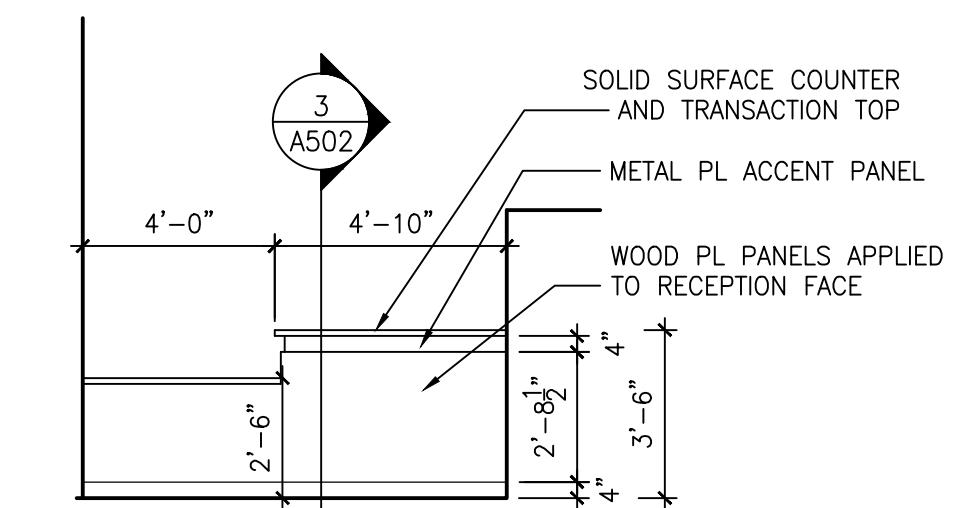


K INTERIOR ELEVATION
A502 1/4" = 1'-0"

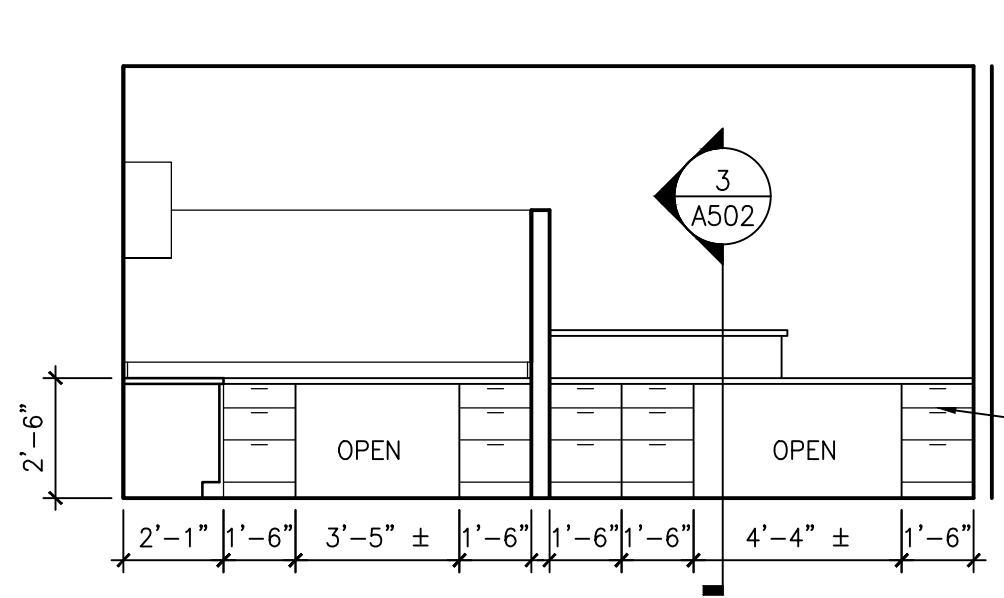
J INTERIOR ELEVATION
A502 1/4" = 1'-0"



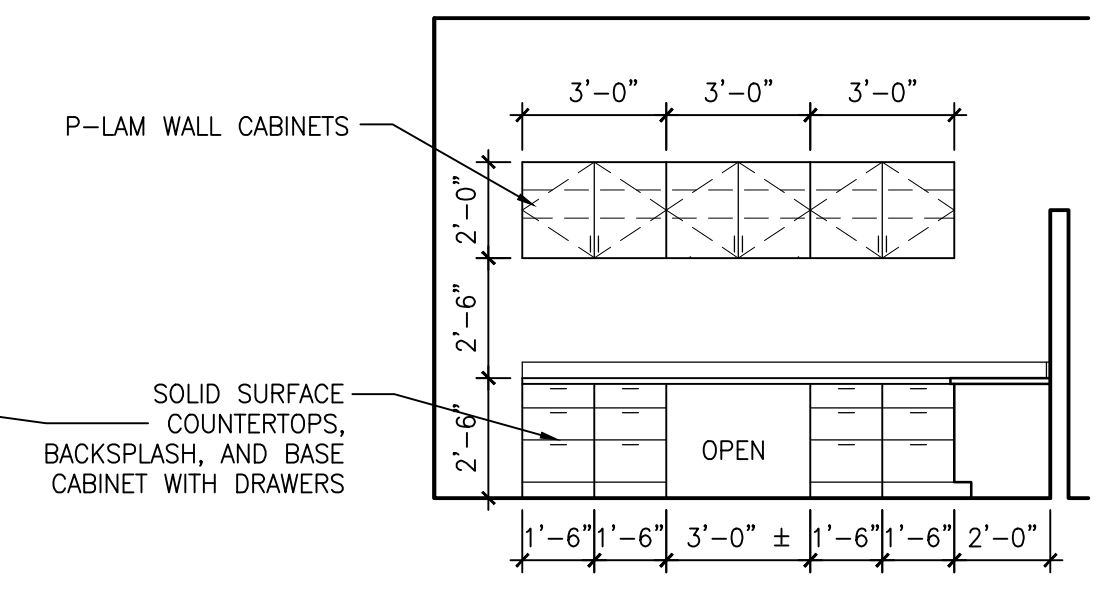
T INTERIOR ELEVATION
A502 1/4" = 1'-0"



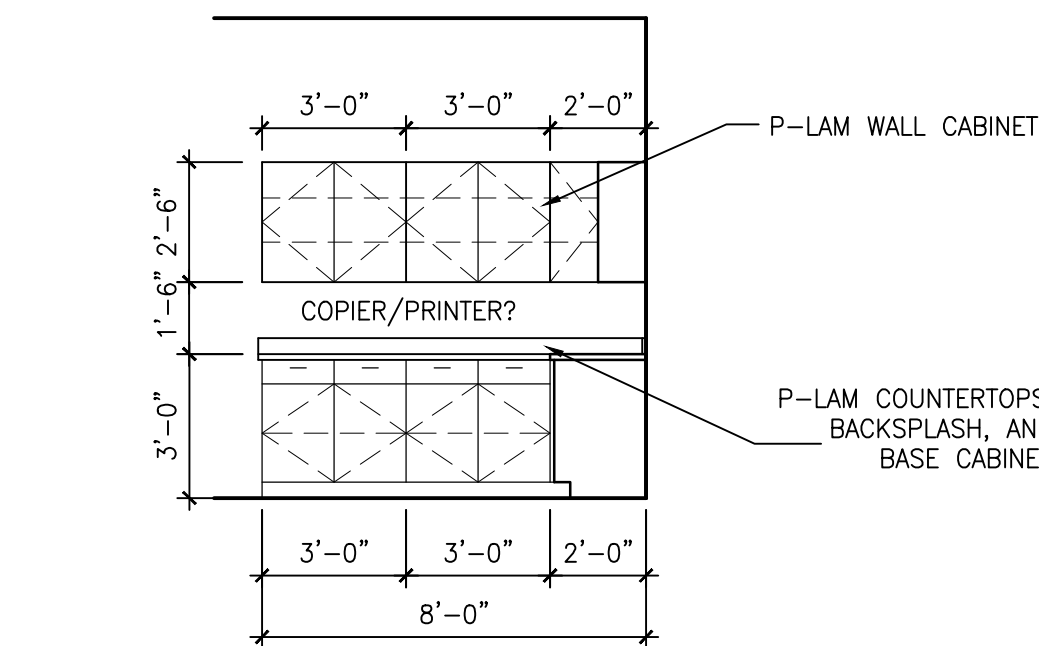
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A502 1/4" = 1'-0"



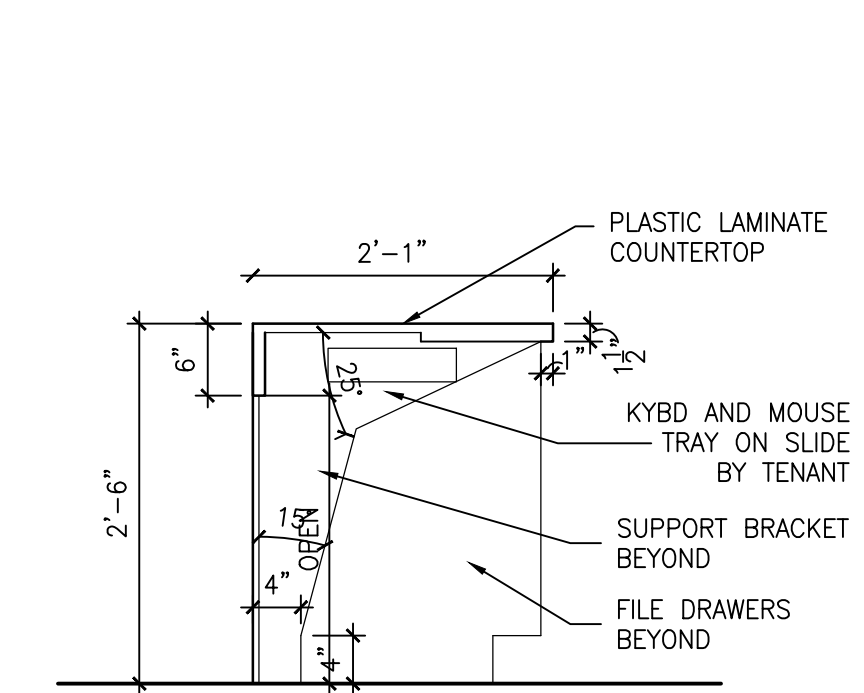
R INTERIOR ELEVATION
A502 1/4" = 1'-0"



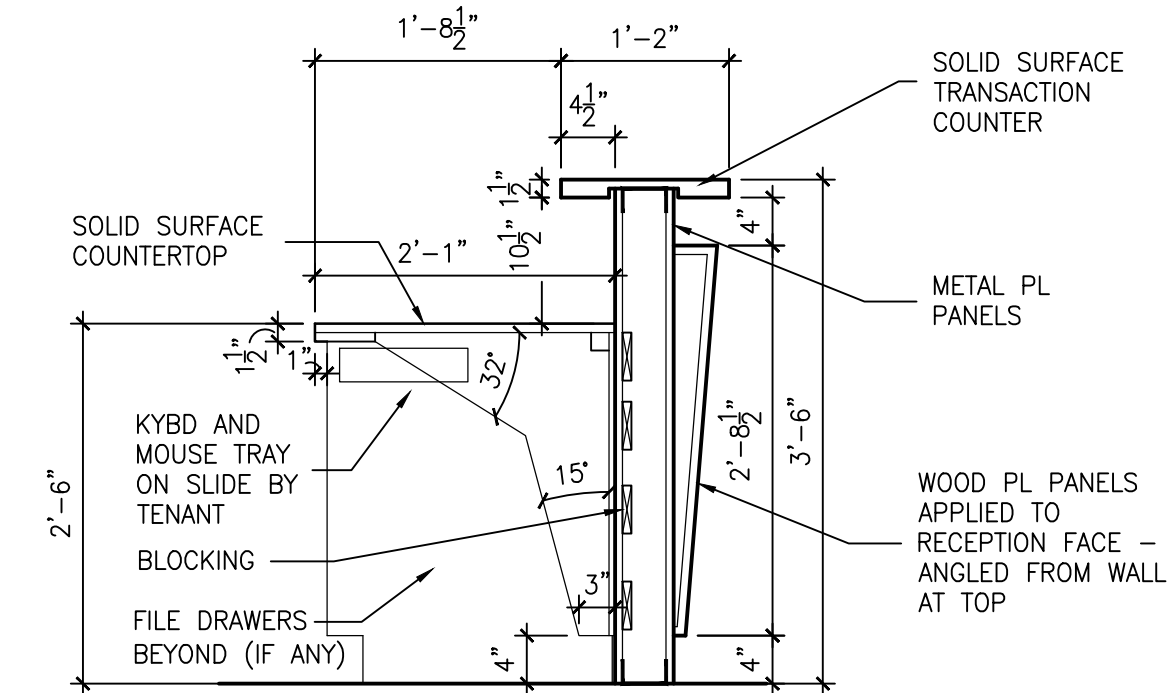
Q INTERIOR ELEVATION
A502 1/4" = 1'-0"



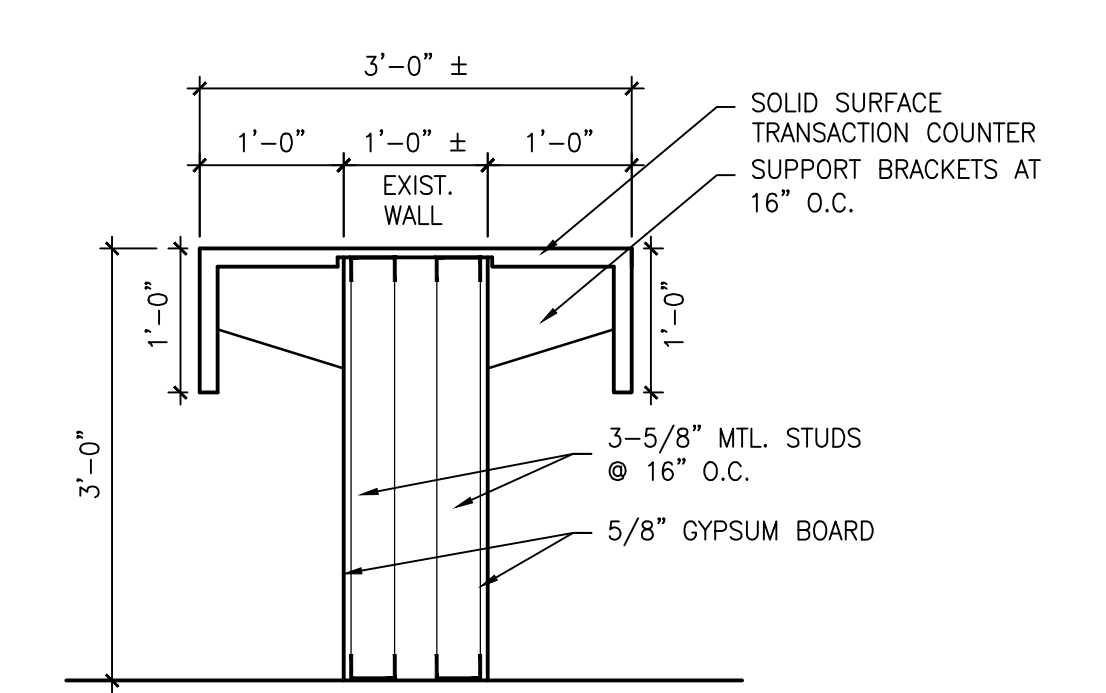
P INTERIOR ELEVATION
A502 1/4" = 1'-0"



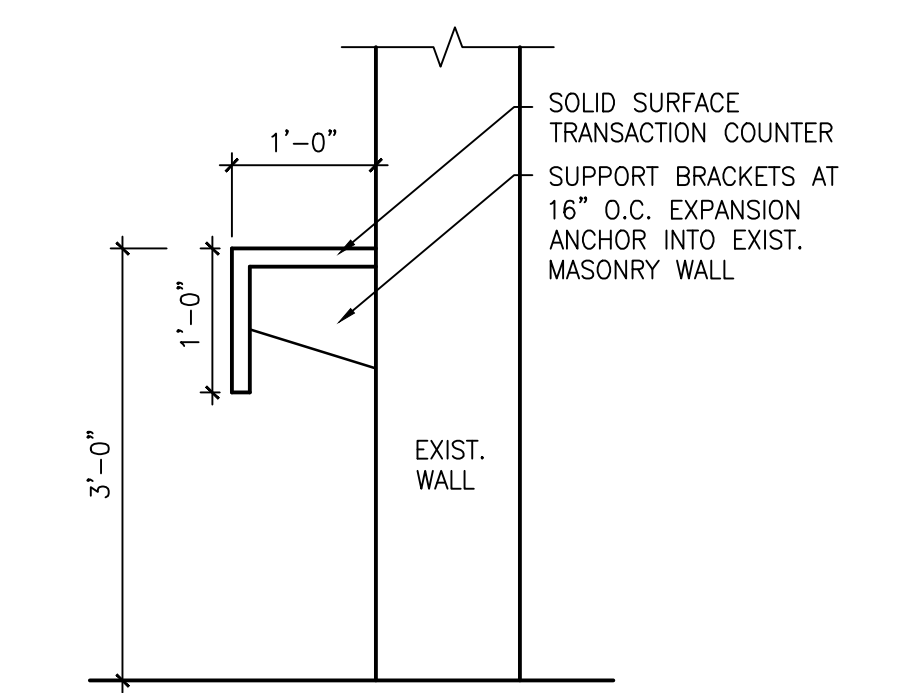
4 CASEWORK SECTION
A502 3/4" = 1'-0"



3 CASEWORK SECTION
A502 3/4" = 1'-0"



2 CASEWORK SECTION
A502 3/4" = 1'-0"



1 CASEWORK SECTION
A502 3/4" = 1'-0"